

**LEGEND**

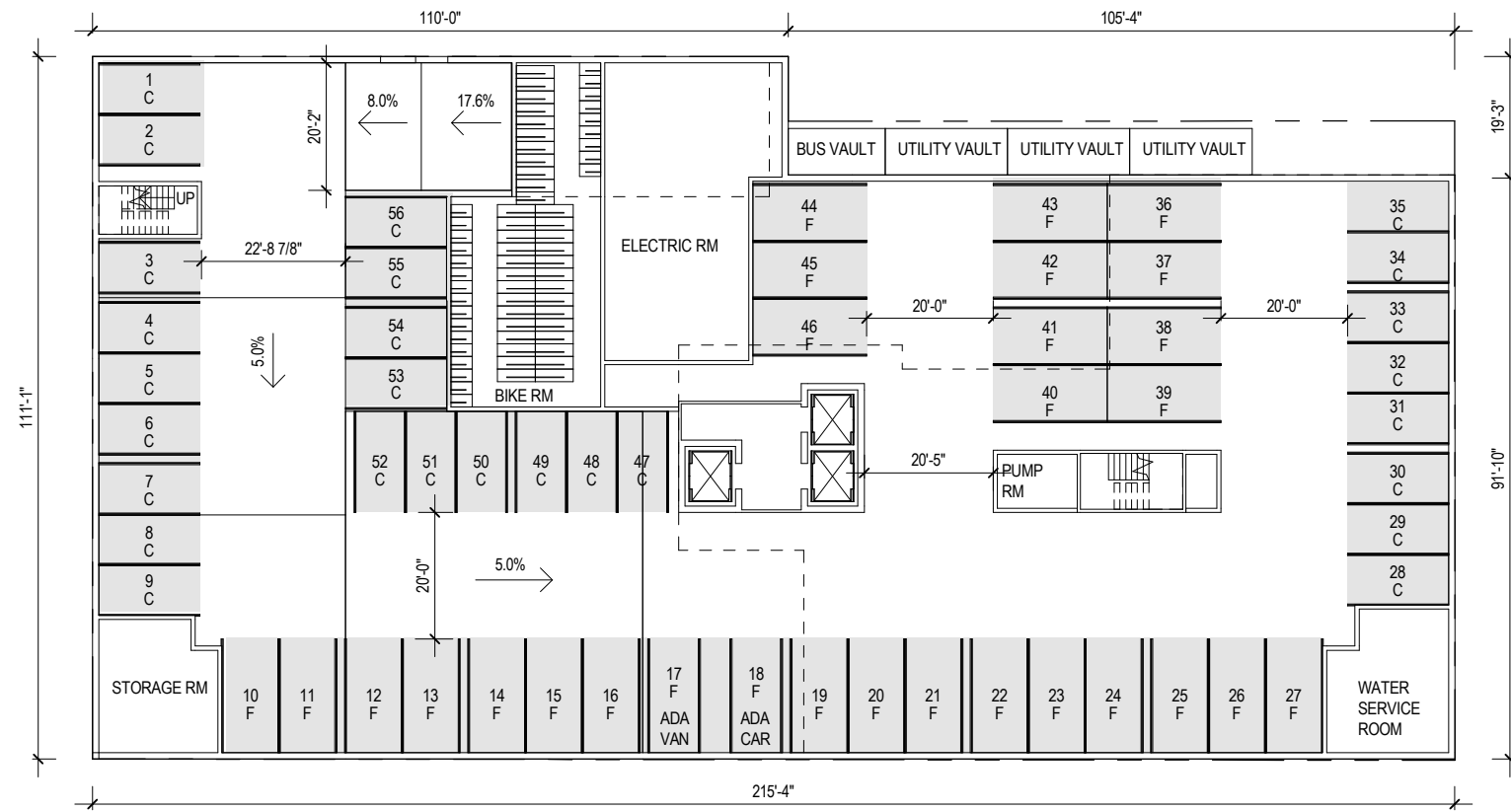
- CORE/SERVICE
- RESIDENTIAL
- RESIDENTIAL AMENITY
- RETAIL

**GENERAL NOTES:**

1. The locations, numbers, and sizes of units, stairs, elevators, and partitions are preliminary and shown for illustrative purposes only. Final layouts may vary.

2. Flexibility is requested to make refinements to parking and loading configurations, including layout, so long as the required parking and loading complies with the size, location, access, maintenance and operation requirements of DCMR 11 or the flexibility granted herein.

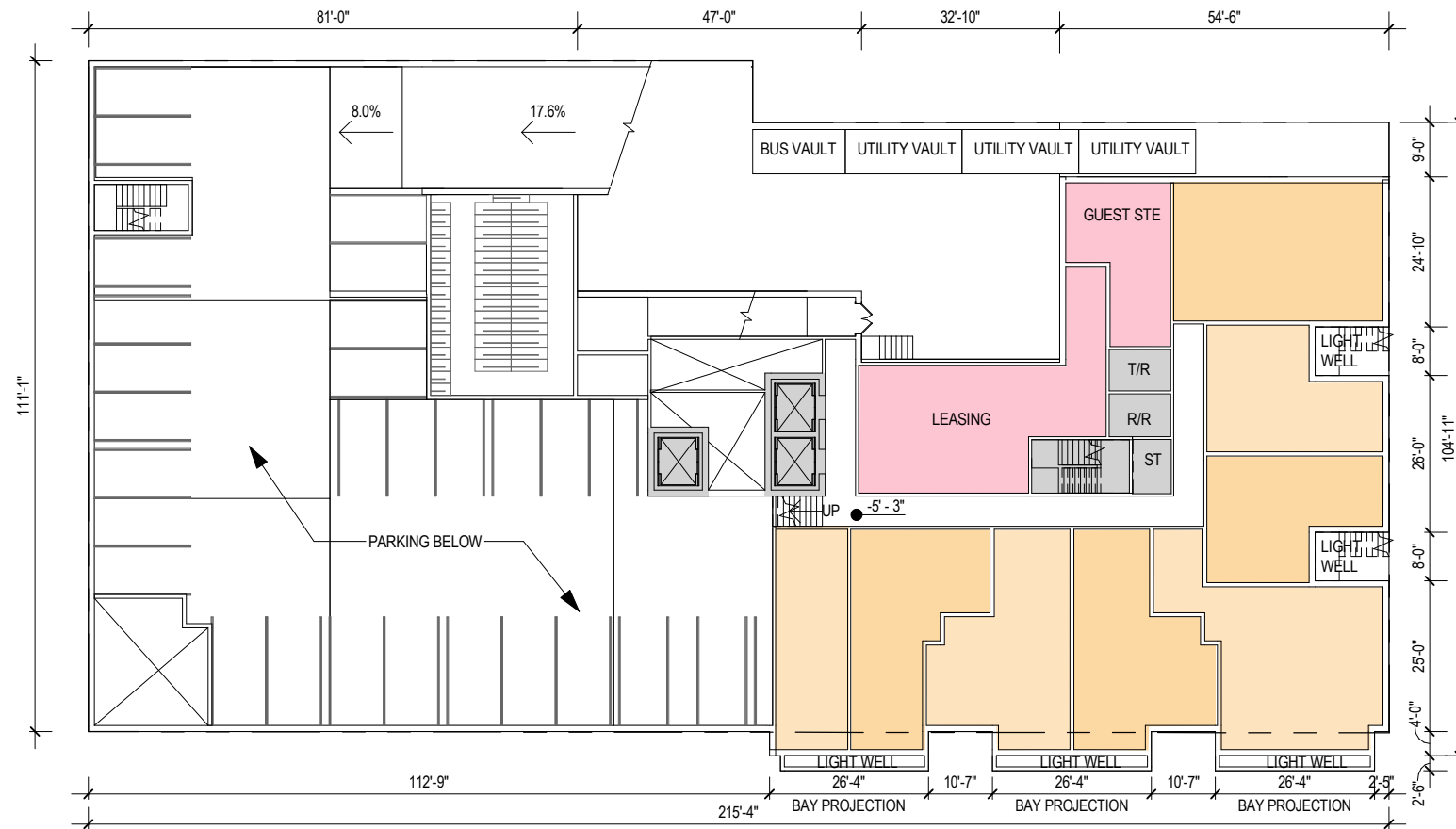
**/ P-1**



**PARKING TOTAL = 56 SPACES**

FULL = 29 SPACES  
COMPACT = 27 SPACES

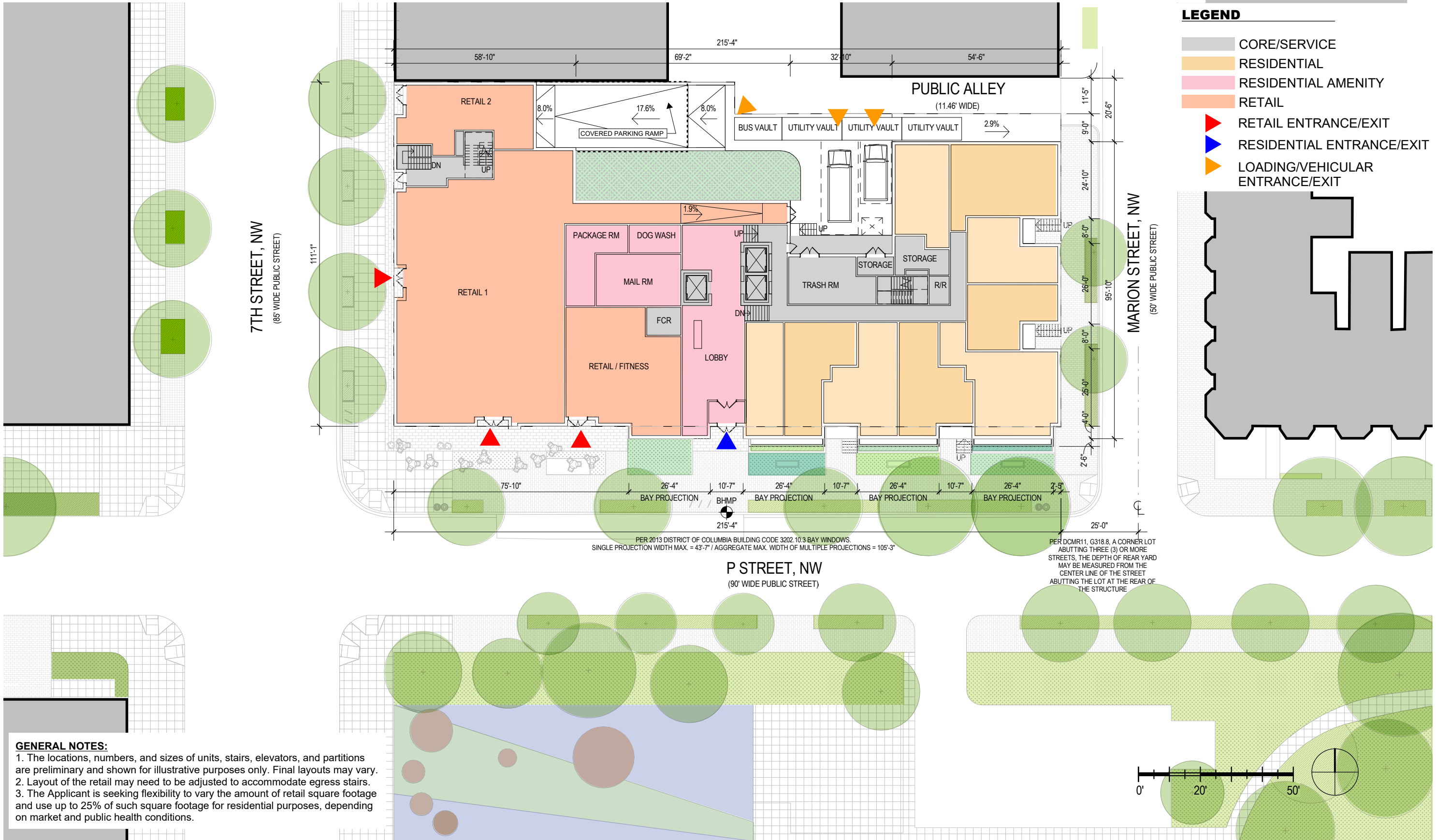
**/ CELLAR**



PER 2013 DISTRICT OF COLUMBIA BUILDING CODE 3202.10.3 BAY WINDOWS.  
SINGLE PROJECTION WIDTH MAX. = 43'-7" / AGGREGATE MAX. WIDTH OF MULTIPLE PROJECTIONS = 105'-3"

**P1 & CELLAR LEVEL**

APRIL 29, 2021



APRIL 29, 2021

GROUND FLOOR PLAN

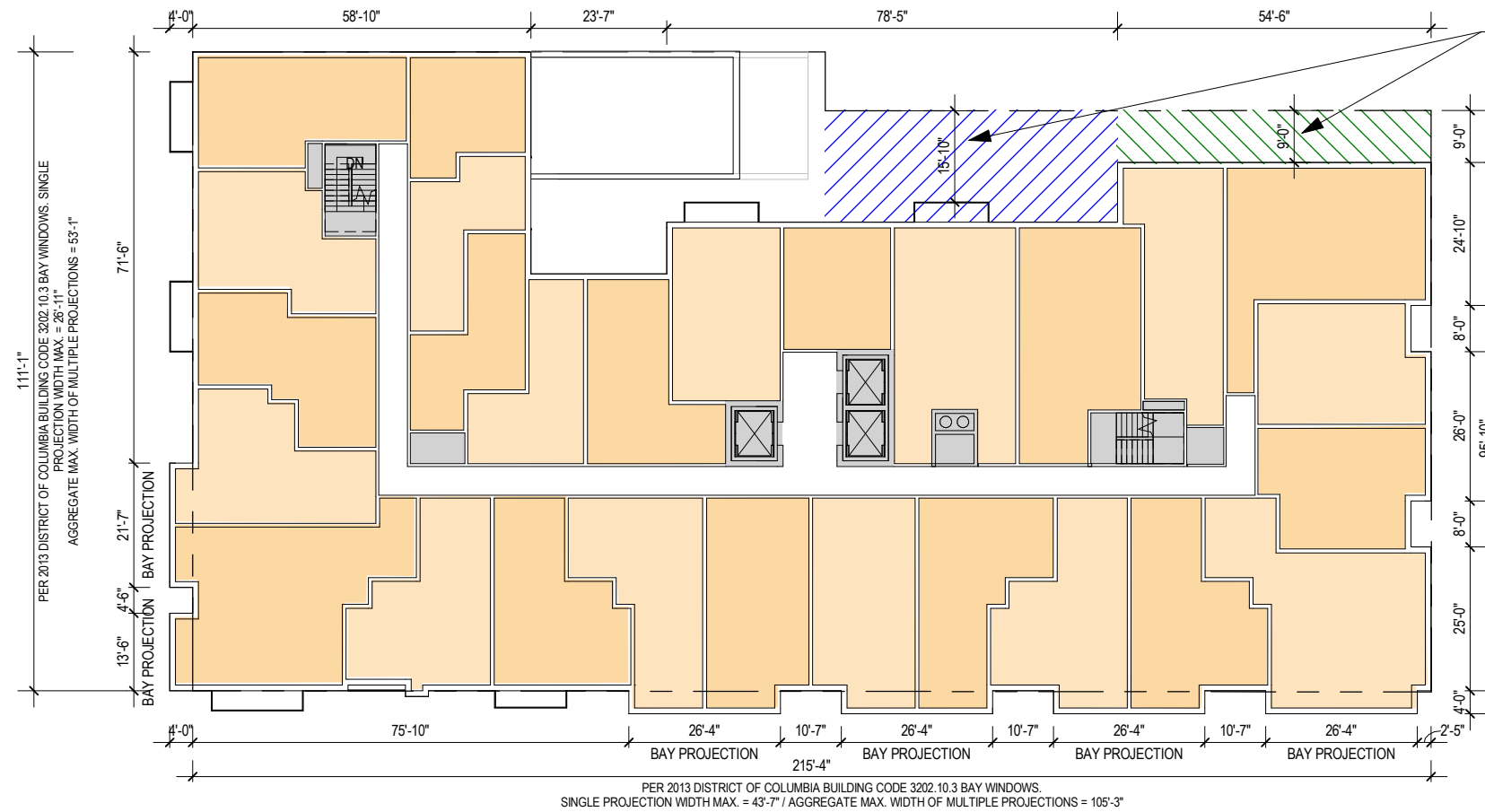


**ECA A22**

**LEGEND**

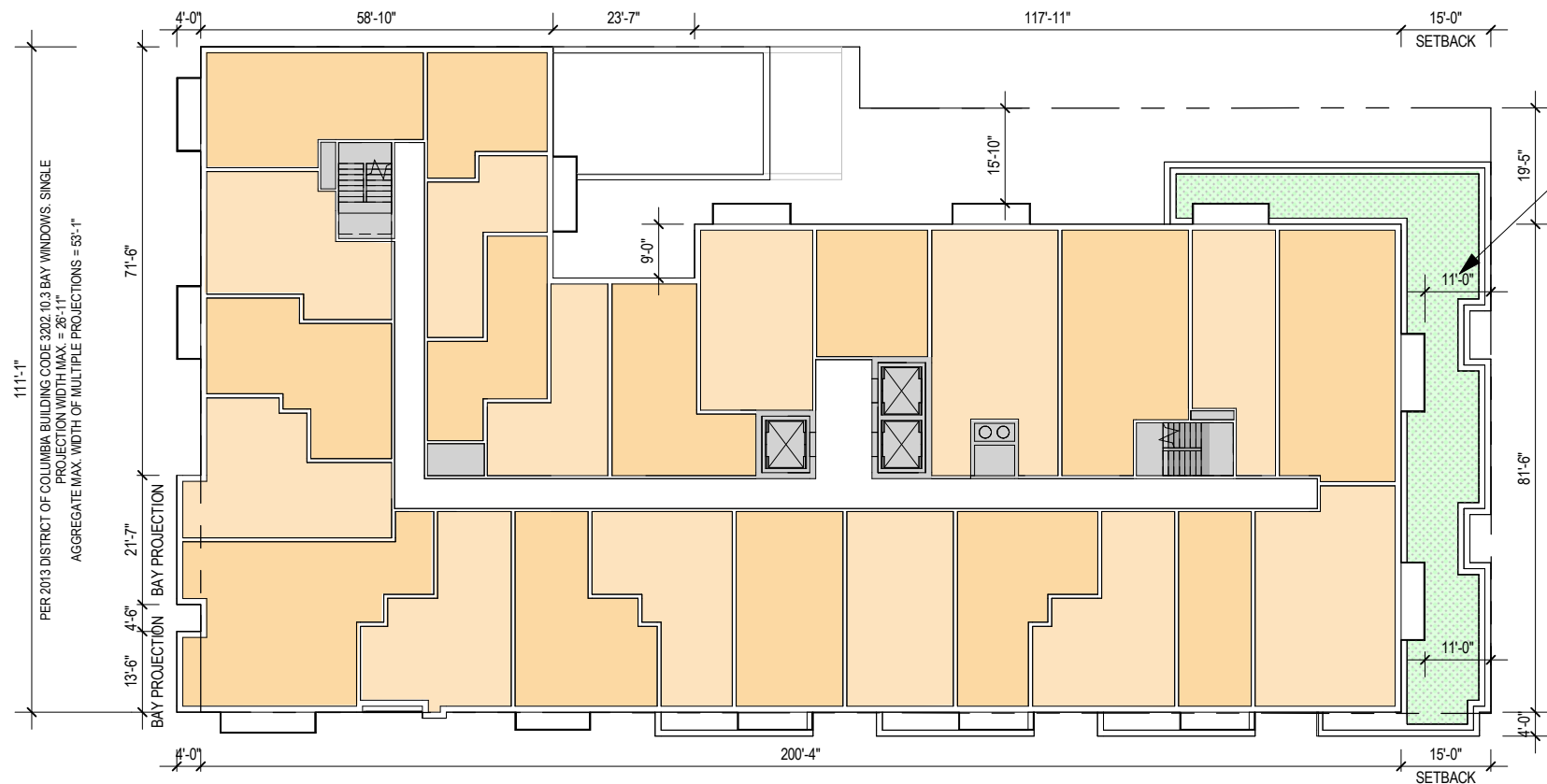
- CORE/SERVICE
- RESIDENTIAL
- RESIDENTIAL AMENITY
- RETAIL

**/ TYPICAL FLOOR PLAN  
(2ND - 5TH)**

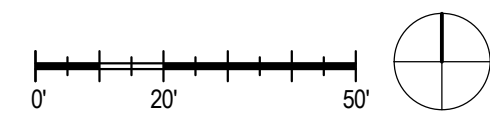


SIDE YARD:  
 PER DCMR11, G406: MINIMUM SIDE YARD IS: NOT REQUIRED BUT IF PROVIDED 2 INFT OF HEIGHT OF SIDE YARD BUT NO LESS THAN 5 FT.  
 44'-11" HIGH SIDE WALL = 7'-6" MIN. REQUIRED SIDE YARD; 9'-0" SIDE YARD PROVIDED  
 92'-6" HIGH SIDE WALL = 15'-5" MIN. REQUIRED SIDE YARD; 15'-10" SIDE YARD PROVIDED

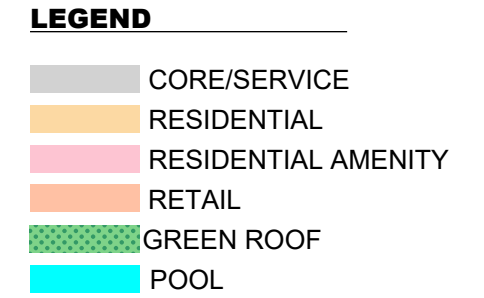
**/ TYPICAL FLOOR PLAN  
(6TH - 7TH)**



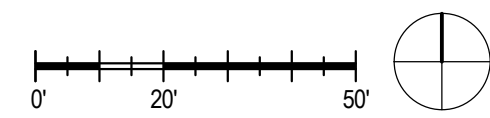
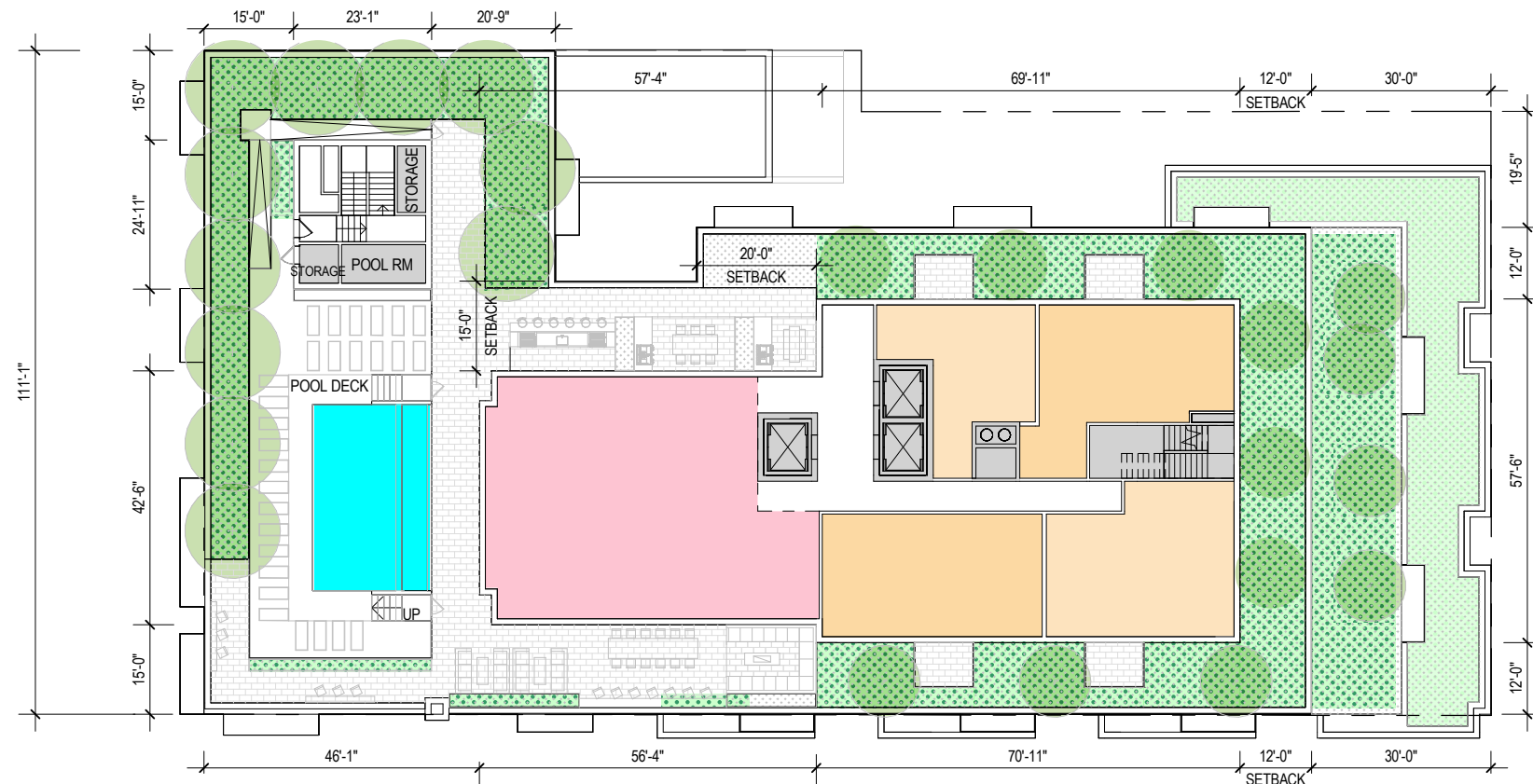
OPEN COURT:  
 PER DCMR11, G202: MINIMUM WIDTH OF OPEN COURT IS: 26'-10" HIGH COURT= 10'-0" MIN. REQUIRED WIDTH 11'-0" PROVIDED AT THE FACE OF THE BALCONY.



**/ TYPICAL FLOOR PLAN  
(8TH - 9TH)**

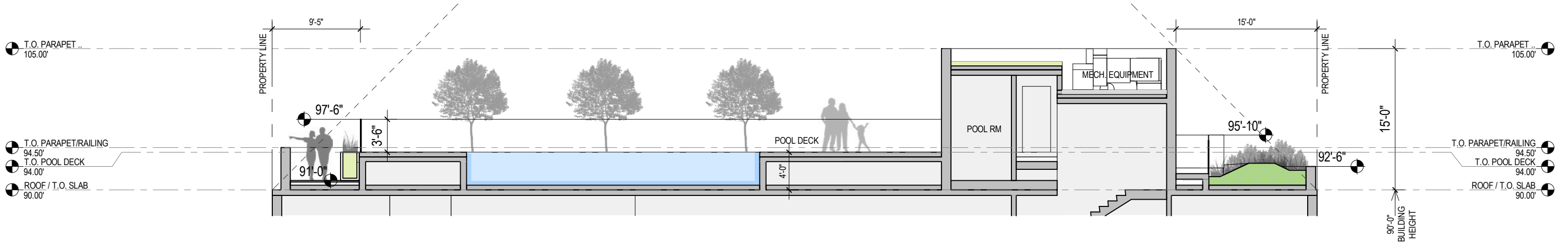


**/ PENTHOUSE PLAN**

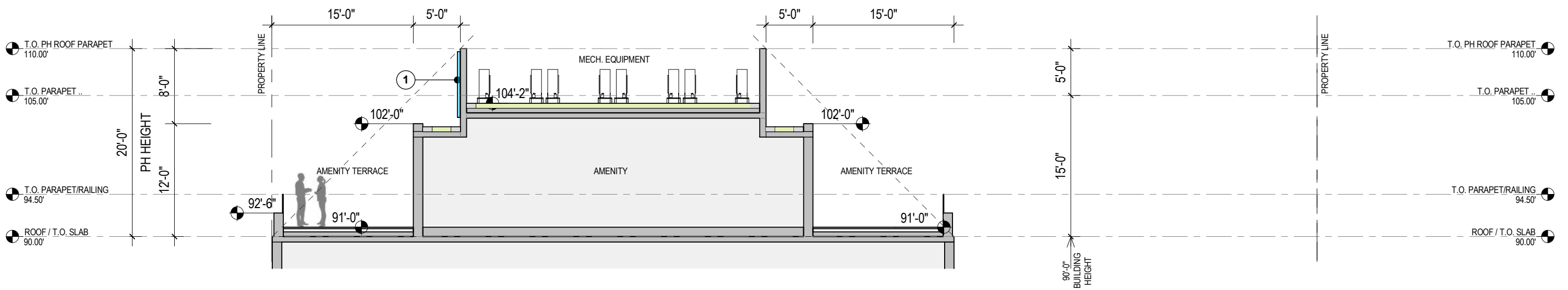




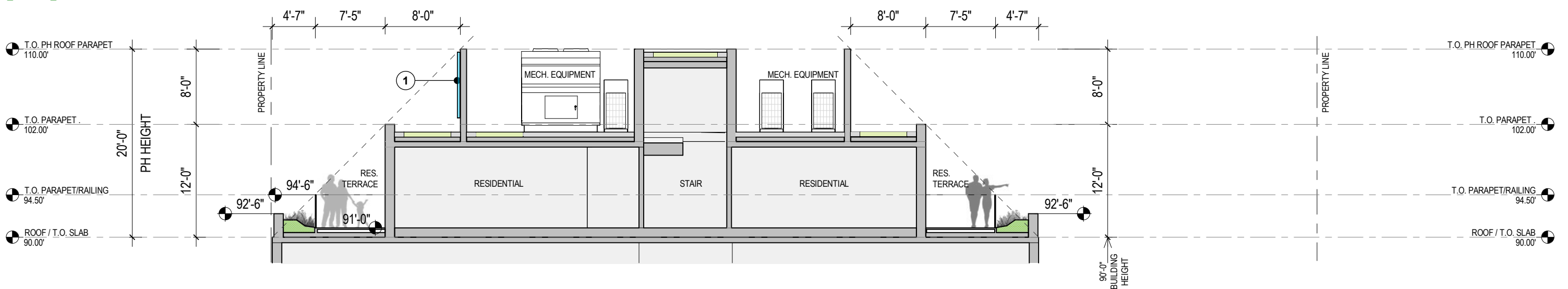
**[B-B] ENLARGED PENTHOUSE SECTION**

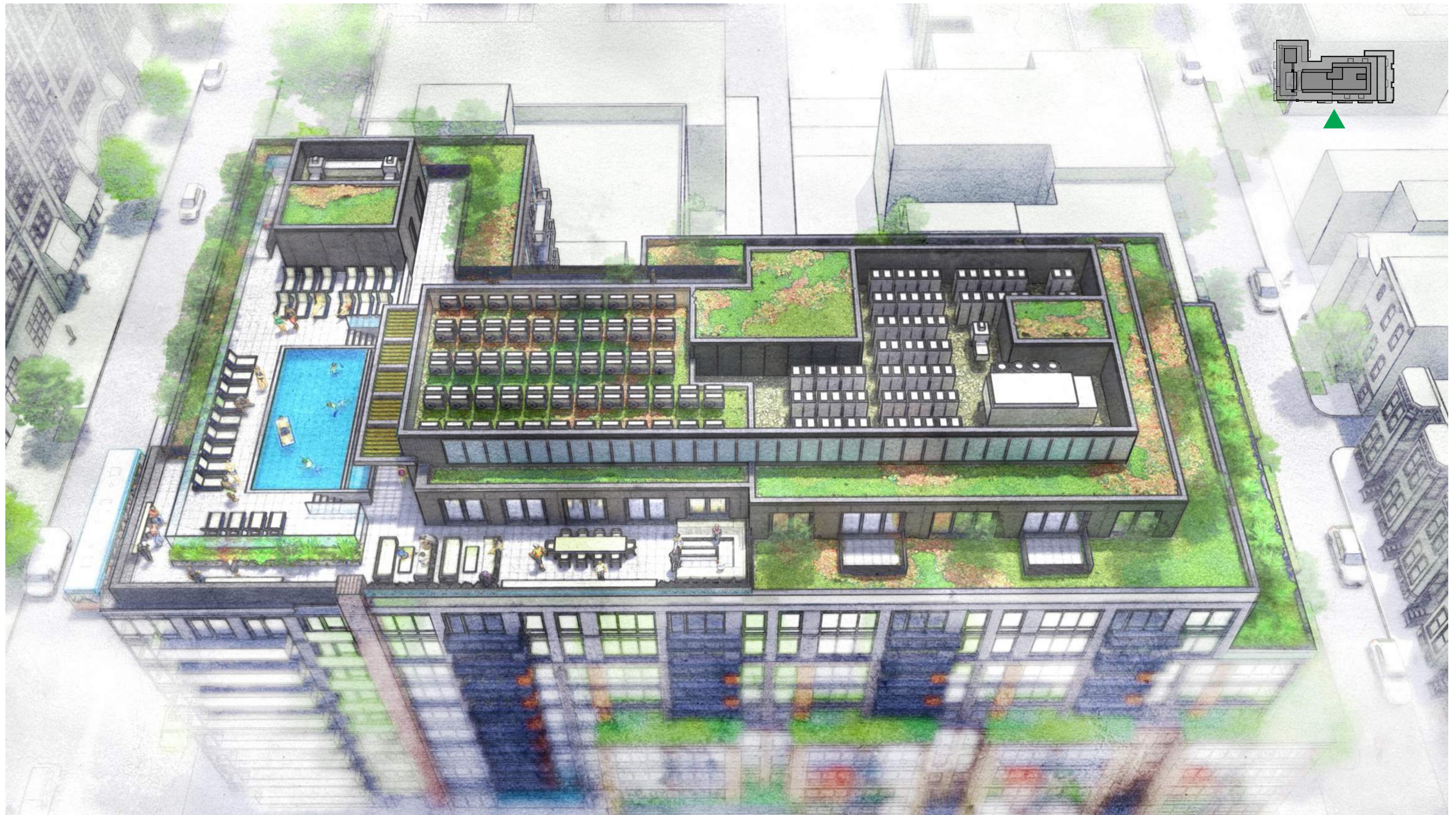


**[C-C] ENLARGED PENTHOUSE SECTION**



**[D-D] ENLARGED PENTHOUSE SECTION**





PENTHOUSE VIEW LOOKING NORTH

APRIL 29, 2021



APRIL 29, 2021

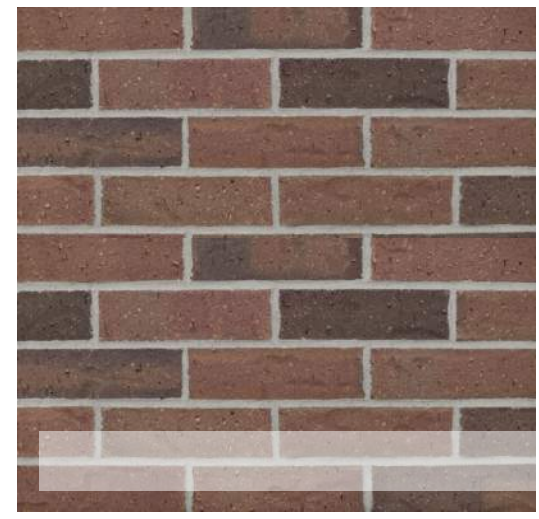
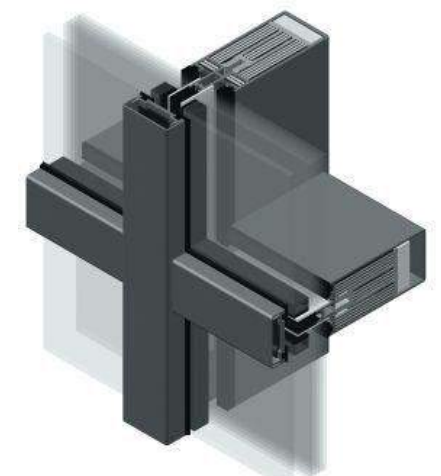
PENTHOUSE VIEW LOOKING EAST

HIGH STREET  
RESIDENTIAL

ECA

A28

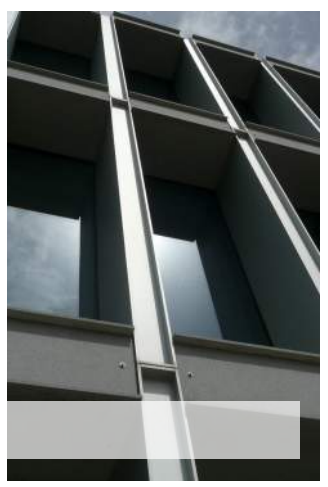
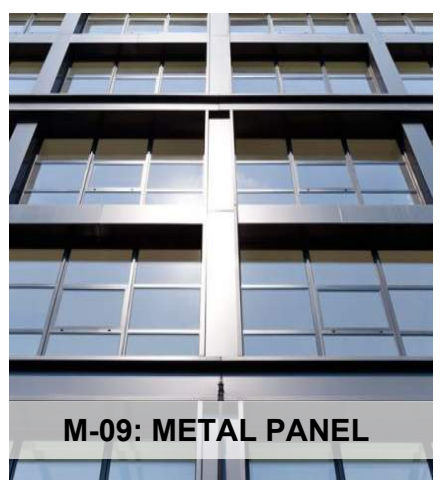
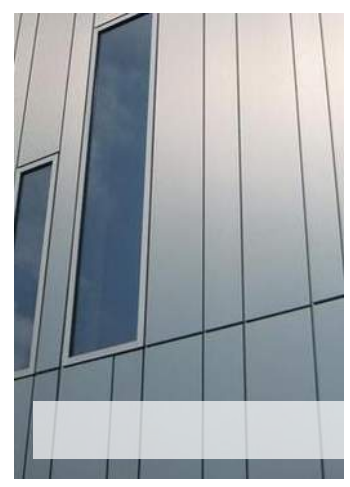




M-06: OPERABLE WINDOW

M-07: ALUMINUM STOREFRONT SYSTEM

M-08: BRICK

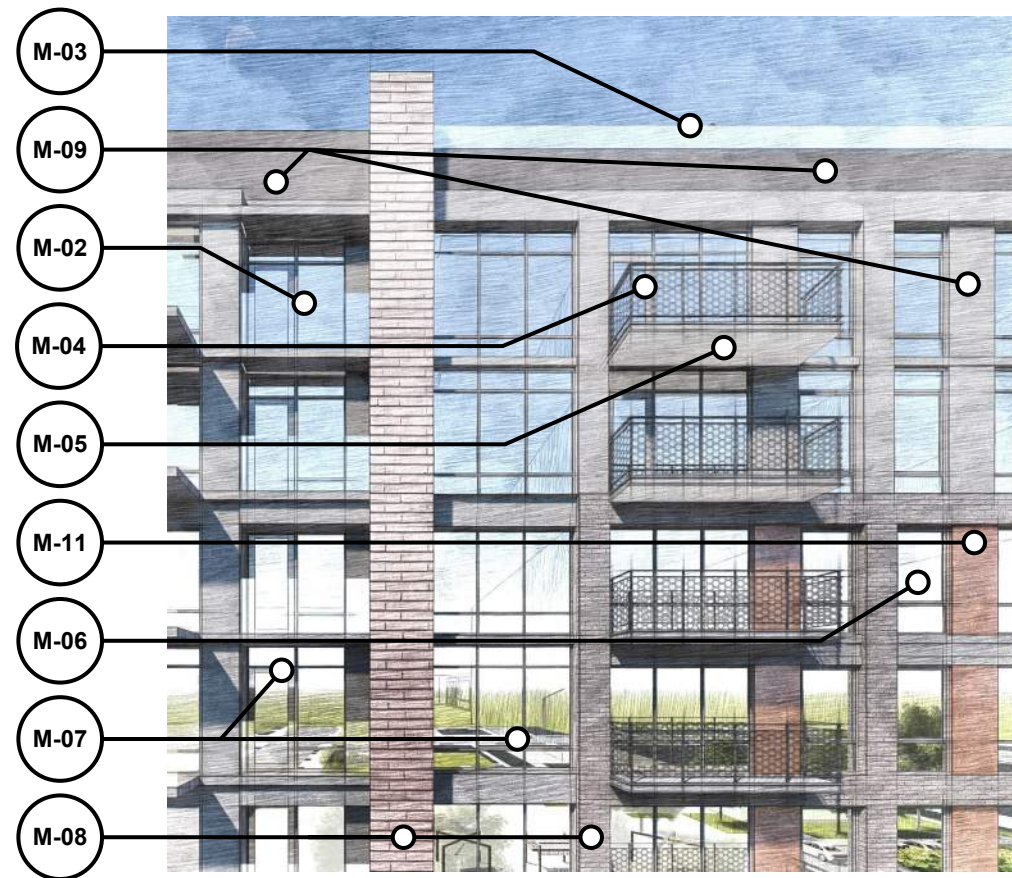
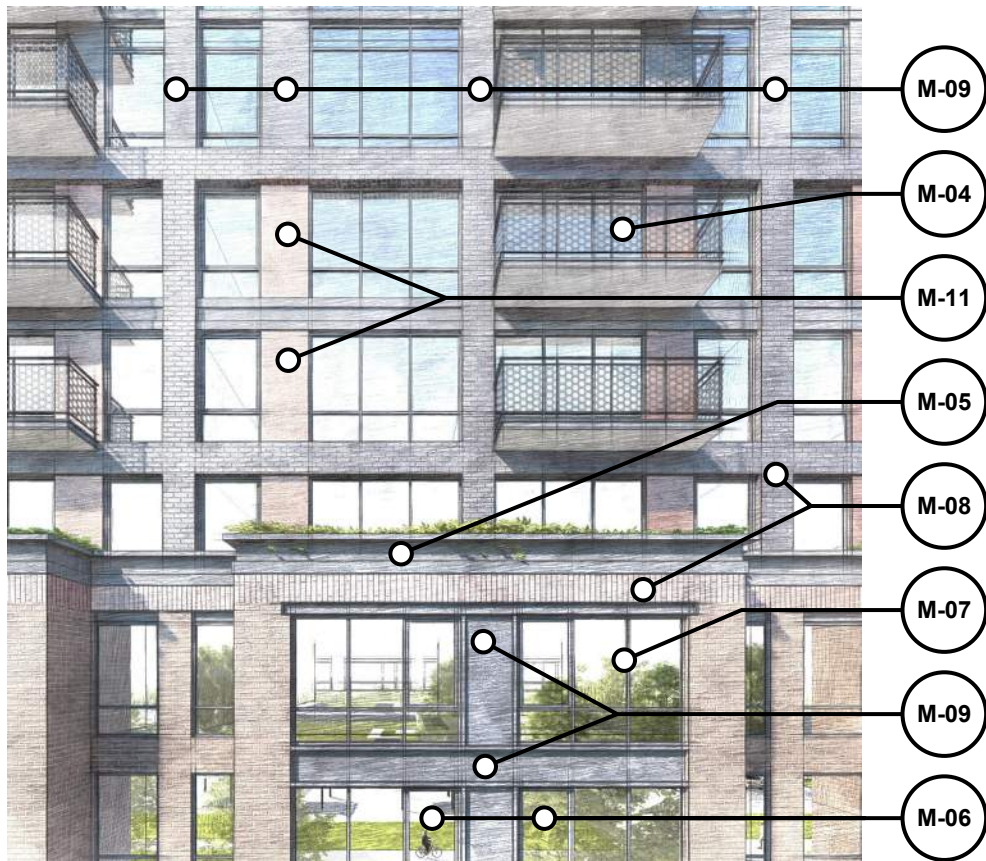


M-09: METAL PANEL

M-10: ALUMINUM LOUVERS

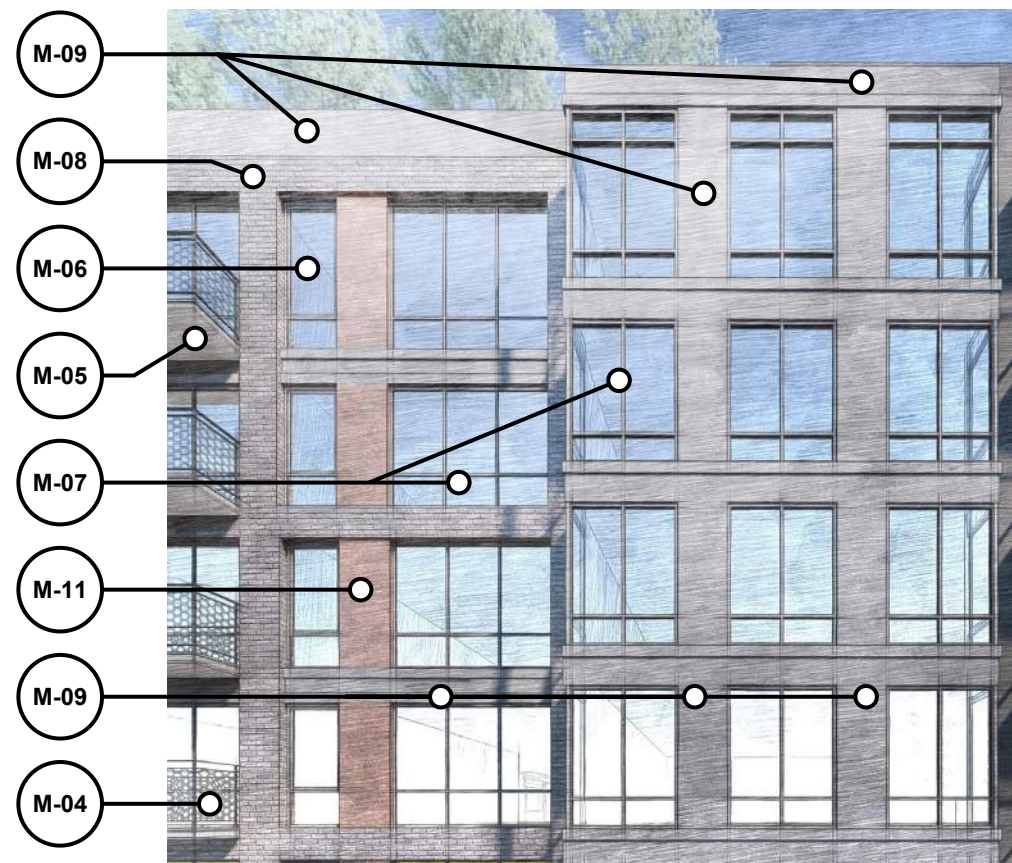
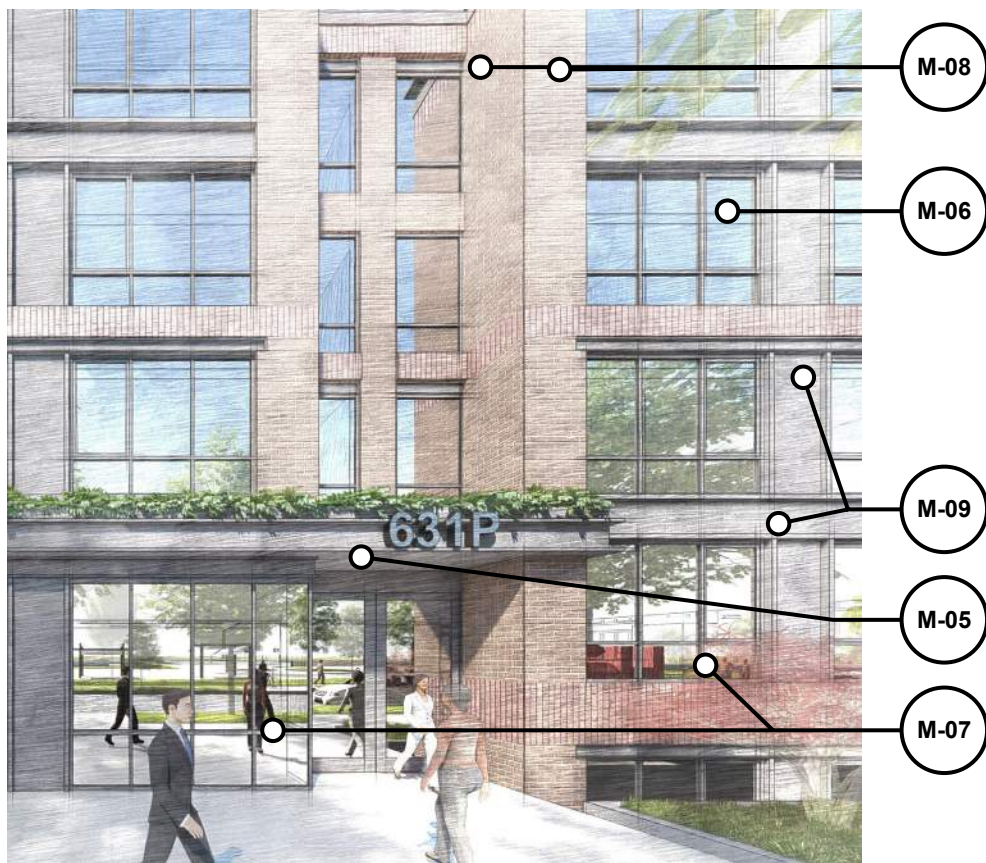
M-11: ARCHITECTURAL PANEL

**GENERAL NOTES:**  
1. Flexibility is requested to vary the final selection of exterior materials within the color ranges and general material types proposed, based on availability at the time of construction. Quality of materials will not be reduced.



**MATERIAL LEGEND:**

- M-01:** METAL / WOOD TRELLIS
- M-02:** ALUMINUM / GLASS RAILING
- M-03:** GLASS RAILING / FENCE
- M-04:** METAL RAILING / BALCONY
- M-05:** ALUMINUM COPING / SOFFIT
- M-06:** OPERABLE WINDOW
- M-07:** ALUMINUM WINDOW SYSTEM
- M-08:** BRICK
- M-09:** METAL PANEL
- M-10:** ALUMINUM LOUVERS
- M-11:** ARCHITECTURAL PANEL



APRIL 29, 2021

**FACADE DETAILS**



NORTH ELEVATION



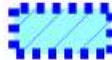

SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

-  Potential Retail signage placement area to be designed in accordance with DC Code and sign regulations
-  Potential Residential signage placement area to be designed in accordance with DC Code and sign regulations

# RESIDENTIAL SIGNAGE I GUIDELINES

1. The permanent signage for the residential portion of the project will be developed along with the design of the building residential entrance. The sign will be part of a cohesive building identity and branding effort.
2. All permanent signage is to be of the highest quality construction. Signs may be lighted, including LEDs or comparable technology. Illumination and materiality of the signage will be complementary to the design of the building.
3. The permanent signage identifying the residential portion of the project will be restricted to the area around the building entrance on P Street, NW, as identified on the plans. Sign area will be regulated by the DC Construction Codes (12 DCMR).

Nothing herein will be construed to preempt any local or federal code or regulation.

# RETAIL SIGNAGE I GUIDELINES

Retail tenants will be required to submit their signage and storefront designs to the owner for review and approval prior to applying for permits from the District. The owner will regulate the external design and appearance of the retail tenants in a manner so as to preserve and maintain the design integrity of the building.

1. Retail tenants will be encouraged to create individual designs for their storefronts and signage.
2. Retail signage and storefronts will be comprised of materials and colors that complement the materials and design of the base building.
3. Retail signage will be permitted based on tenant needs.
4. Retail tenants may employ a wide variety of building materials in the design of their storefront and signage such as glass, masonry, stone, decorative metal, stucco, tile, etc. However, tenants will be required to use high quality materials, as determined by the owner.
5. Sign area will be regulated by the DC Construction Codes (12 DCMR).
6. Signage and storefront illumination is encouraged by owner so long as building design integrity is maintained. Illumination will be acceptable per owner approval and in accordance with local regulations.
7. The locations of doors and windows for retail tenants will be established as part of the storefront design. However, doors and windows to base building areas (such as lobbies, exit stairs and service areas) will be established by the owner during base building design. Tenants will be encouraged to make efforts to integrate the existing building and character into the design of the storefronts.

Nothing herein will be construed to preempt any local or federal code or regulation.

Sign Type A | Entry Canopy Sign



Sign Type B | Building Signs



Sign Type C | Blade Signs

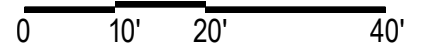
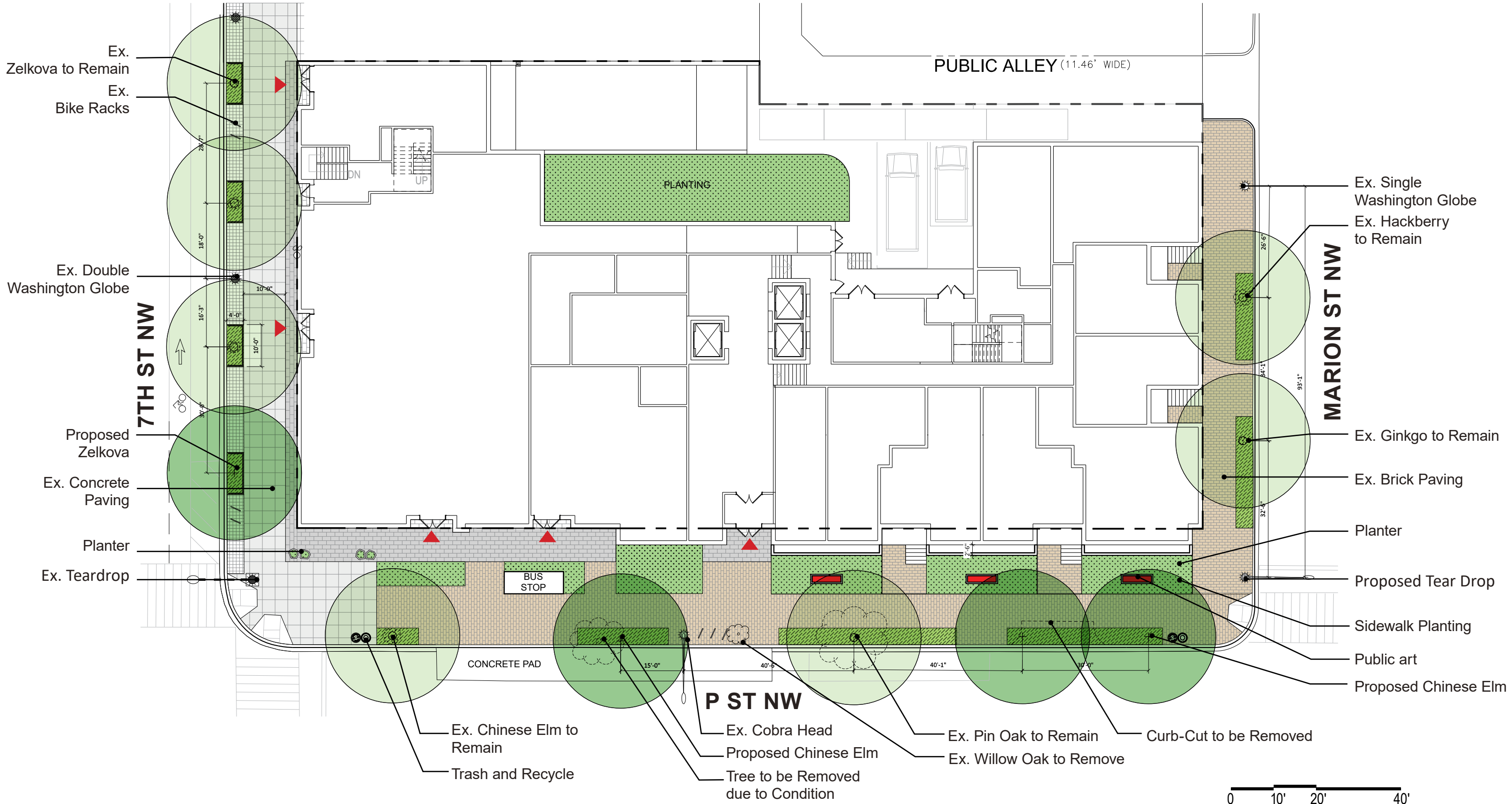


Sign Type D | Window Signs



# LANDSCAPING DESIGN

APRIL 29, 2021





Washington Globe



Double Washington Globe



Teardrop



Cobra Head



Typical Bike Rack  
- DDOT Compliant



Typical Trash and  
Recycling Receptacles  
- DC Standard

EXISTING AND  
PROPOSED TREE SPECIES  
7TH STREET NW



Zelkova

EXISTING TREE SPECIES  
P STREET NW



Chinese Elm

PROPOSED TREE  
Chinese Elm



Pin Oak

EXISTING TREE SPECIES  
MARION STREET NW



Hackberry



Ginkgo

PROPOSED BIORETENTION  
TREE SPECIES



Red Sunset Maple

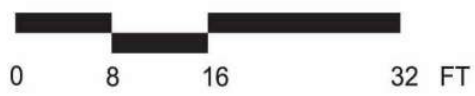


Kentucky Coffeetree

7TH ST NW

MARION ST NW

P ST NW



PENTHOUSE & ROOF PLAN

APRIL 29, 2021

**L03**





VIEW 1



VIEW 2



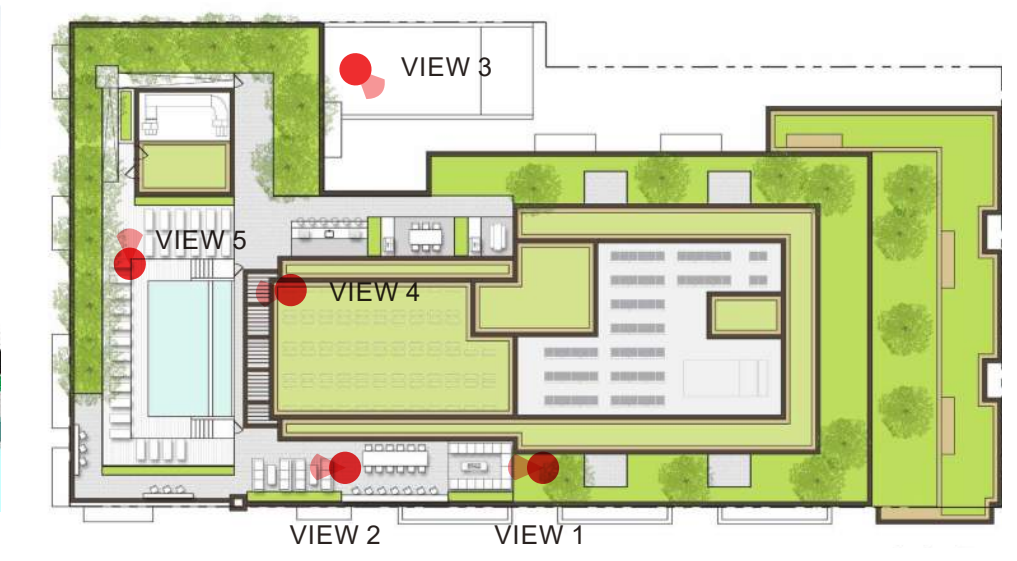
VIEW 3



VIEW 4



VIEW 5





PENTHOUSE PRECEDENTS

L05



APRIL 29, 2021



MAGNOLIA VIRGINIANA  
STAR MAGNOLIA



CORNUS FLORIDA  
DOGWOOD



CERCIS CANADENSIS 'ROYAL WHITE'  
EASTERN REDBUD

## WINTER AND WILD LIFE INTEREST PLANTING



ILEX VERTICILATA  
WINTERBERRY



PENNISETUM ALOPECUROIDES  
'LITTLE BUNNY'  
LITTLE BUNNY DWARF  
FOUNTAIN GRASS



STONECROP, HYLOTELEPHIUM  
SEDUM AUTUMN JOY



PANICUM VIRGATUM  
'ROTSTRAHLBUSCH'  
ROTSTRAHLBUSCH SWITCHGRASS



PANICUM VIRGATUM  
'SHENANDOAH'  
SHENANDOAH SWITCHGRASS



HELICTOTRICHON SEMPERVIRENS  
BLUE OAT GRASS

- HERBACEOUS LIST
- AMSONIA HUBRICHII  
BLUE STAR
  - ASCLEPIAS INCARNATA  
SWAMP MILKWEED
  - BAPTISIA AUSTRALIS  
BLUE FALSE INDIGO
  - CROPHYLLA 'JACK FROST'  
ROST SIBERIAN BUGLOSS
  - ECHINACEA PURPUREA  
PURPLE CONEFLOWER
  - IRIS GERMANICA  
BEARDED IRIS
  - LUPINE MUSEUM 'BIG BLUE'  
LILY TURF 'BIG BLUE'
  - RUDOLPHIA 'SUNSHINE'  
BLACK-EYED SUSAN



NYSSA SYLVATICA  
BLACK GUM



BETULA NIGRA  
RIVER BIRCH



ACER RUBRUM  
RED MAPLE



AMELANCHIER CANADENSIS  
SERVICEBERRY

BIORETENTION PLANTING

L07

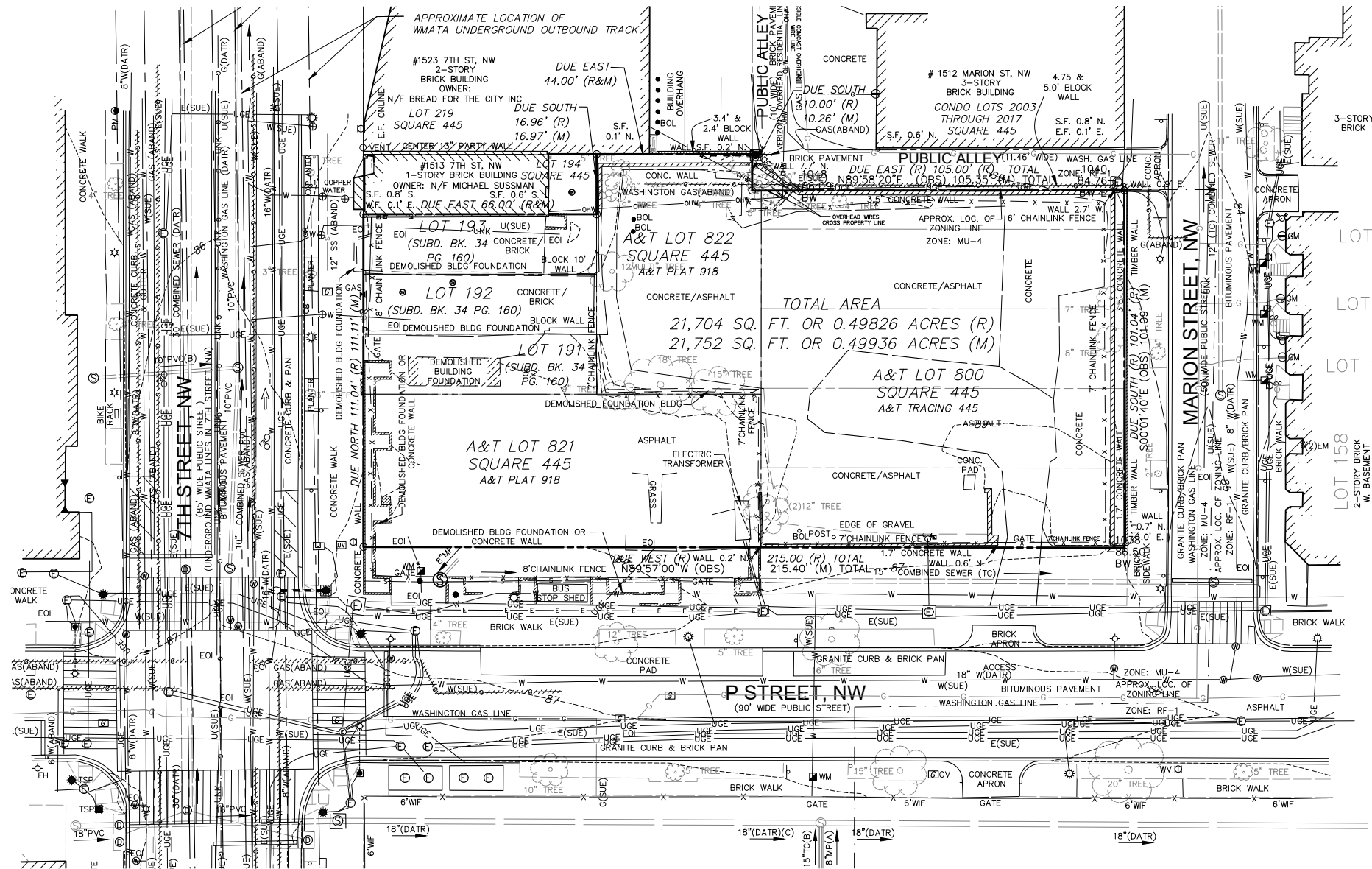


APRIL 29, 2021

# CIVIL DESIGN

APRIL 29, 2021





### ZONING NOTE:

THE FOLLOWING INFORMATION WAS TAKEN FROM DCOZ.DC.GOV WEB SITE.  
 LOTS 191 THROUGH 193 AND A&T LOTS 800, 821 AND 822 IN SQUARE 445 ZONE: MU-4

THIS INFORMATION DOES NOT CONSTITUTE A "ZONING OPINION" AND IS NOT SUBJECT TO THE SURVEYOR'S CERTIFICATION SHOWN HEREON.

### DC BOUNDARY NOTE:

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE WITH THE FINAL DETERMINATION TO BE MADE BY THE OFFICE OF THE SURVEYOR. A "SURVEY TO MARK" PREPARED BY DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CONFIGURATION FOR THIS PROPERTY.

### UTILITY NOTE:

THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE BELOW AND GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE INDICATED FROM THE INFORMATION NOTED IN THE TABLE BELOW WHICH COMPRISES THE RECORD INFORMATION OBTAINED BY THE SURVEYOR. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, UNLESS SPECIFICALLY NOTED ON THE DRAWING. THE FOLLOWING UTILITY COMPANIES HAVE BEEN SOLICITED FOR THEIR PLANS AND RECORD UTILITY DRAWINGS, LISTED BELOW ARE SPECIFIC PLAN/SHEET NUMBERS OF DRAWINGS PROVIDED BY THE UTILITY COMPANY OR LACK OF RESPONSE IS NOTED.

UTILITY COMPANY	PLAN # / SHEET #
VERIZON (VERIZON ENGINEERING 13101 COLUMBIA PIKE FDC 1 SILVER SPRING, MD. 20904 )	DUPONT BLOCK 445
COMCAST (NEED-BLT_BeltwayRegionDesignRequests @cable.comcast.com)	FACILITIES ON SITE PER ROUGH MAP PROVIDED ON 2/24/2020
WASHINGTON GAS/MD REPLACEMENT SECTION (MappingResearch@washgas.com & WAMozzoli@washgas.com)	ROUGH MAP RECEIVED 5/29/2020
VERIZON BUSINESS (VCI) (investigations@verizon.com)	NO FACILITIES ON SITE PER EMAIL RECEIVED 2/27/2020
PEPCO DISTRIBUTION (ded@pepco.com)	NO REPLY AT THIS TIME
PEPCO TRANSMISSION (alexander@pepco.com)	NO FACILITIES ON SITE PER EMAIL RECEIVED ON 2/25/2020
DC WATER - SEWER & WATER (permit.operations@dcwater.com)	DC WATER GIS MAP AND C-7 NW WATER AND SEWER MAPS RECEIVED 3-9-2020
AT&T LOCAL (mb458f@att.com) - NOT SHOWN	AT&T LOCAL HAS LEASED FIBERS WITHIN QUEST FIBER WHICH MAY BE OWNED BY CENTURY LINK LINE ALONG P ST.
AT&T CORE/AT&T LEGACY/AT&T LONG DISTANCE (gw1349@att.com)	PER EMAIL RECEIVED 6/8/2020 - PENDING ADDL. INFORMATION NO FACILITIES ON SITE PER EMAIL RECEIVED ON 3/2/2020
CENTURYLINK (relo@centurylink.com & CenturylinkNationalOSPRelocations@centurylink.com)	NO FACILITIES ON SITE PER EMAIL RECEIVED ON 2/25/2020
FIBER LIGHT (Wayne. hitcoax@fiberlight.com)	NO FACILITIES ON SITE PER EMAIL RECEIVED ON 6/02/2020
ZAYO (doug.shuele@zayo.com)	NO FACILITIES ON SITE PER EMAIL RECEIVED ON 6/05/2020

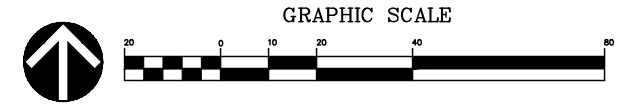
THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. THE OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "MISS UTILITY" 48 HOURS PRIOR TO CONSTRUCTION. WKA CAPITOL, LLC HAS NOT REQUESTED MISS UTILITY MARKINGS OF UNDERGROUND UTILITY LINES.

### LEGEND

<ul style="list-style-type: none"> <li>--- SUBJECT PROPERTY LINE</li> <li>--- ADJACENT PROPERTY LINE</li> <li>--- BUILDING RESTRICTION LINE</li> <li>--- ELECTRICAL CONDUIT</li> <li>--- NATURAL GAS CONDUIT</li> <li>--- OVERHEAD WIRES</li> <li>--- TELEPHONE/COMMUNICATIONS CONDUIT</li> <li>--- WATER LINE</li> <li>--- CABLE TV</li> <li>--- SANITARY SEWER CONDUIT</li> <li>--- STORM DRAIN CONDUIT</li> <li>--- FENCE LINE</li> <li>--- APPROXIMATE ZONING LINE</li> <li>--- BUILDING LINE</li> <li>--- RETAINING OR FREE STANDING WALL</li> <li>--- MAJOR CONTOUR</li> <li>--- MINOR CONTOUR</li> <li>--- APPROXIMATE ZONING LINE</li> <li>--- FLOOD LINE</li> <li>--- APPROXIMATE WMATA UNDERGROUND TRACK CENTERLINE</li> <li>--- APPROXIMATE WMATA UNDERGROUND TRACKS</li> </ul>	<ul style="list-style-type: none"> <li>• BOLLARD</li> <li>□ SIGN POST</li> <li>□ MAIL BOX</li> <li>○ TREE</li> <li>○ SANITARY MANHOLE</li> <li>○ STORM DRAIN MANHOLE</li> <li>□ GRATE</li> <li>○ WATER MANHOLE</li> <li>○ FIRE HYDRANT</li> <li>○ SIAMSE CONNECTION</li> <li>○ WATER METER</li> <li>○ WATER VALVE</li> <li>□ TRAFFIC CONTROL BOX</li> <li>○ WALL LIGHT</li> <li>○ IRRIGATION CONTROL VALVE</li> <li>○ CLEAN OUT</li> <li>○ ROOF LEADER</li> <li>○ WHEEL STOP</li> </ul>	<ul style="list-style-type: none"> <li>○ ELECTRIC MANHOLE</li> <li>○ ELECTRIC VALVE</li> <li>○ ELECTRIC METER</li> <li>○ UTILITY POLE</li> <li>○ GUY WIRE</li> <li>○ UTILITY POLE W/STREET LIGHT</li> <li>○ COBRA LIGHT POLE</li> <li>○ LIGHT POLE</li> <li>○ UTILITY POLE W/ALLEY LIGHT</li> <li>○ PHONE MANHOLE</li> <li>○ UNKNOWN UTILITY MANHOLE</li> <li>○ GAS VALVE</li> <li>○ GAS METER</li> <li>○ CARD READER</li> </ul>	<ul style="list-style-type: none"> <li>(N)..... NORTH</li> <li>(S)..... SOUTH</li> <li>(E)..... EAST</li> <li>(W)..... WEST</li> <li>N.F. ... NORTH FACE</li> <li>S.F. ... SOUTH FACE</li> <li>E.F. ... EAST FACE</li> <li>W.F. ... WEST FACE</li> <li>SUBD. BK. ... SUBDIVISION BOOK</li> <li>PG. .... PAGE</li> <li>A&amp;T. .... ASSESSMENT &amp; TAXATION</li> <li>BRL. .... BUILDING RESTRICTION LINE</li> <li>SQ.FT. .... SQUARE FEET</li> <li>AC. .... ACRES</li> <li>(R) ..... RECORD INFORMATION</li> <li>(M) ..... MEASURED INFORMATION</li> <li>(O) ..... OBSERVED ANGLE OR BEARING</li> <li>(C) ..... COMPUTED INFORMATION</li> <li>DATR..... DATA ACCORDING TO RECORD</li> <li>EOI..... END OF INFORMATION</li> <li>INV. ....INVERT</li> <li>RCP .....REINFORCED CONCRETE PIPE</li> <li>CMP .....CORRUGATED METAL PIPE</li> <li>PVC .....POLY VINYL CHLORIDE</li> <li>SS .....SANITARY SEWER</li> <li>SD .....STORM DRAIN</li> <li>WL .....WATER LINE</li> <li>GL .....GAS LINE</li> <li>CI .....CAST IRON</li> <li>WRPD .....WRAPPED</li> <li>TC .....TOP OF CURB</li> <li>BC .....BOTTOM OF CURB</li> <li>CL .....CENTER LINE</li> <li>BW .....BOTTOM WALL</li> <li>TW .....TOP OF WALL</li> <li>FF .....FINISH FLOOR</li> <li>CONC .....CONCRETE</li> <li>ESMT .....EASEMENT</li> <li>DCSO .....DISTRICT OF COLUMBIA SURVEYOR'S OFFICE</li> <li>DCDPW..... DISTRICT OF COLUMBIA DEPARTMENT OF PUBLIC WORKS</li> <li>CIRC..... CIRCUMFERENCE</li> </ul>
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## EXISTING CONDITIONS PLAN

“FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO or 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY”

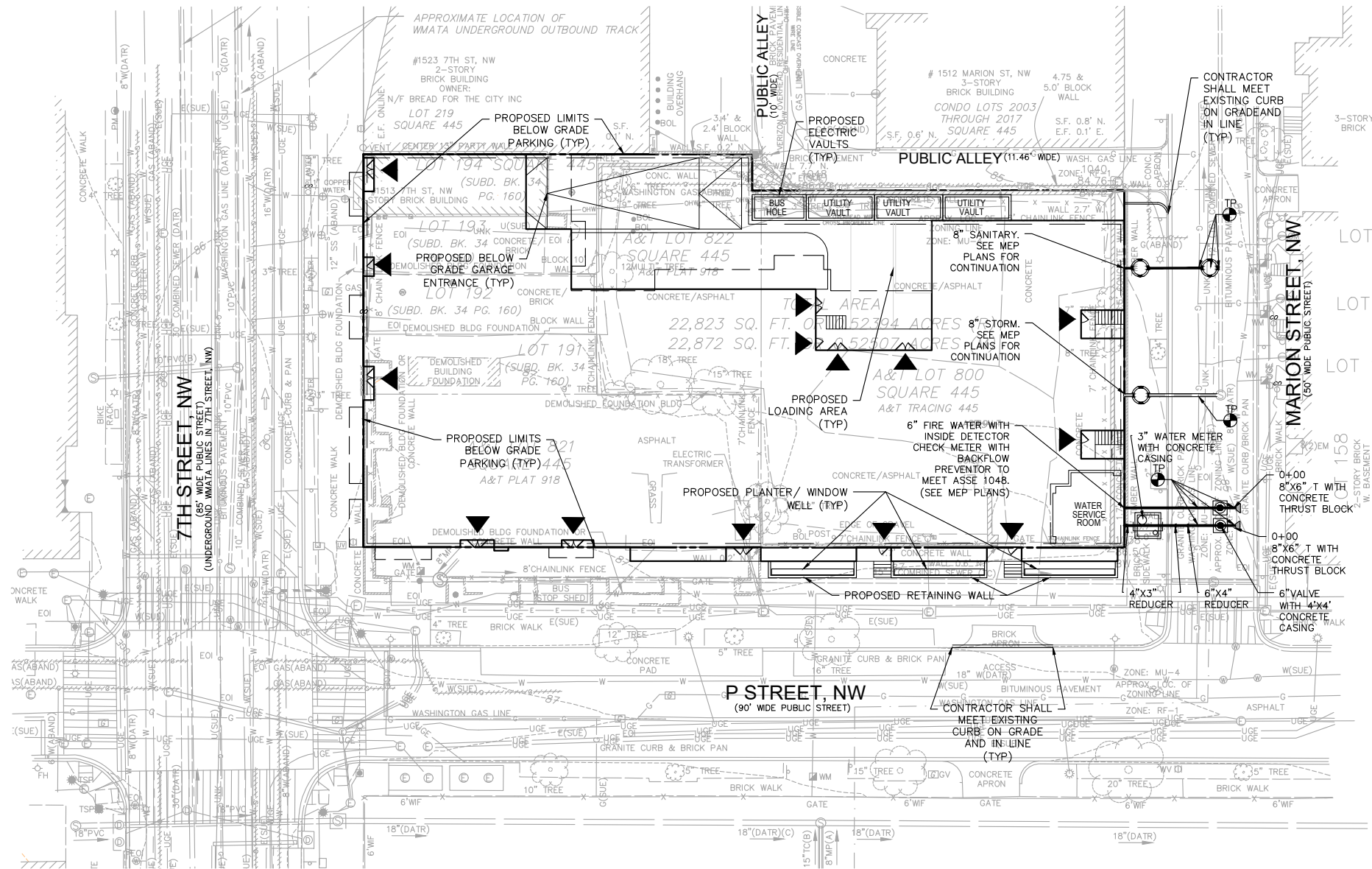


## EXISTING CONDITIONS PLAN

APRIL 29, 2021

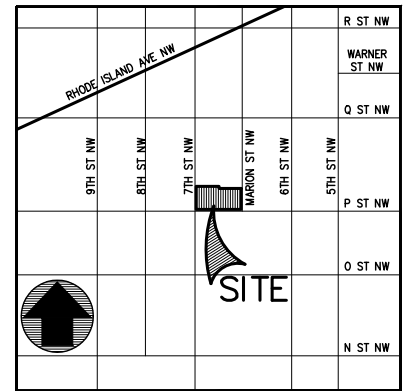


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**SITE & UTILITY LEGEND:**

- PROPOSED PARKING SPACE
- PROPOSED ADA LOADING/OFF-LOADING AREA
- PROPOSED ASPHALT PAVEMENT PATCH
- PROPOSED STORM DRAIN PIPE
- PROPOSED SANITARY SEWER & MANHOLE
- PROPOSED SMALL SANITARY SEWER SERVICE LATERAL (S-80.01 & S-80.02)
- PROPOSED DIP WATER MAIN & VALVE
- PROPOSED LARGE WATER SERVICE CONNECTION (DG-23.01)
- PROPOSED FIRE HYDRANT (W-50.01)
- 2" AIR/RAIN BLOW-OFF FOR DEAD ENDS (W-50.10)
- TEST PIT
- ABANDONED UTILITIES
- REMOVED UTILITIES
- EXISTING MAJOR WHOLE CONTOUR LINE
- EXISTING MINOR QUARTER CONTOUR LINE
- PROPOSED MAJOR WHOLE CONTOUR LINE
- PROPOSED MINOR QUARTER CONTOUR LINE
- BUILDING ENTRANCE
- PROPOSED 7" CONC. CURB & BRICK GUTTER
- PROPERTY LINE



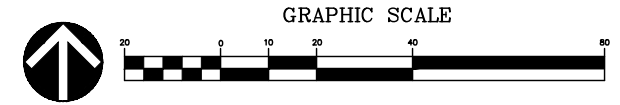
**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

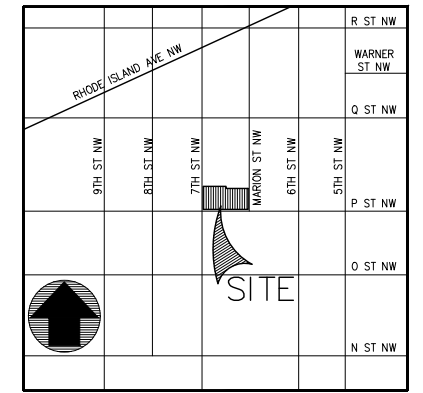
- |  |  |  |                             |  |   |  |  |
|--|--|--|-----------------------------|--|---|--|--|
|  | SUBJECT PROPERTY LINE                          |  | BOLLARD                     |  | (N)..... NORTH  |  | INV. ....INVERT  |
|  | ADJACENT PROPERTY LINE                         |  | SIGN POST                   |  | (S)..... SOUTH  |  | RCP .....REINFORCED CONCRETE PIPE                          |
|  | BUILDING RESTRICTION LINE                      |  | MAIL BOX                    |  | (E)..... EAST   |  | CMP .....CORRUGATED METAL PIPE                             |
|  | ELECTRICAL CONDUIT                             |  | ELECTRIC METER              |  | (W)..... WEST   |  | PVC .....POLY VINYL CHLORIDE                               |
|  | NATURAL GAS CONDUIT                            |  | UTILITY POLE                |  | N.F. ... NORTH FACE   |  | SS .....SANITARY SEWER                                     |
|  | OVERHEAD WIRES                                 |  | UTILITY POLE W/STREET LIGHT |  | S.F. ... SOUTH FACE   |  | SD .....STORM DRAIN  |
|  | TELEPHONE/COMMUNICATIONS CONDUIT               |  | UTILITY POLE W/ALLEY LIGHT  |  | E.F. ... EAST FACE  |  | WL .....WATER LINE   |
|  | WATER LINE                                     |  | PHONE MANHOLE               |  | W.F. ... WEST FACE  |  | GL .....GAS LINE   |
|  | CABLE TV                                       |  | UNKNOWN UTILITY MANHOLE     |  | SUBD. BK. ... SUBDIVISION BOOK                              |  | CI .....CAST IRON  |
|  | SANITARY SEWER CONDUIT                         |  | GAS VALVE                   |  | PG. .... PAGE   |  | WRPD .....WRAPPED  |
|  | STORM DRAIN CONDUIT                            |  | GAS METER                   |  | A&T. .... ASSESSMENT & TAXATION                             |  | TC .....TOP OF CURB  |
|  | FENCE LINE                                     |  | CARD READER                 |  | BRL. .... BUILDING RESTRICTION LINE SQ.FT. .... SQUARE FEET |  | BC .....BOTTOM OF CURB                                     |
|  | APPROXIMATE ZONING LINE                        |  |                             |  | AC. .... ACRES  |  | CL .....CENTER LINE  |
|  | BUILDING LINE                                  |  |                             |  | (R) ..... RECORD INFORMATION                                |  | BW .....BOTTOM WALL  |
|  | RETAINING OR FREE STANDING WALL                |  |                             |  | (M) ..... MEASURED INFORMATION                              |  | TW .....TOP OF WALL  |
|  | MAJOR CONTOUR                                  |  |                             |  | (O) ..... OBSERVED ANGLE OR BEARING                         |  | FF .....FINISH FLOOR                                       |
|  | MINOR CONTOUR                                  |  |                             |  | (C) ..... COMPUTED INFORMATION                              |  | CONC .....CONCRETE   |
|  | APPROXIMATE ZONING LINE                        |  |                             |  | ESMT ..... EASEMENT   |  | CONC .....CONCRETE EASEMENT                                |
|  | FLOOD LINE                                     |  |                             |  | DATR..... DATA ACCORDING TO RECORD                          |  | DCSO ..... DISTRICT OF COLUMBIA SURVEYOR'S OFFICE          |
|  | APPROXIMATE WMATA UNDERGROUND TRACK CENTERLINE |  |                             |  | EOI..... END OF INFORMATION                                 |  | DCDPW..... DISTRICT OF COLUMBIA DEPARTMENT OF PUBLIC WORKS |
|  | APPROXIMATE WMATA UNDERGROUND TRACKS           |  |                             |  |   |  | CIRC..... CIRCUMFERENCE                                    |

**SITE AND UTILITY PLAN**

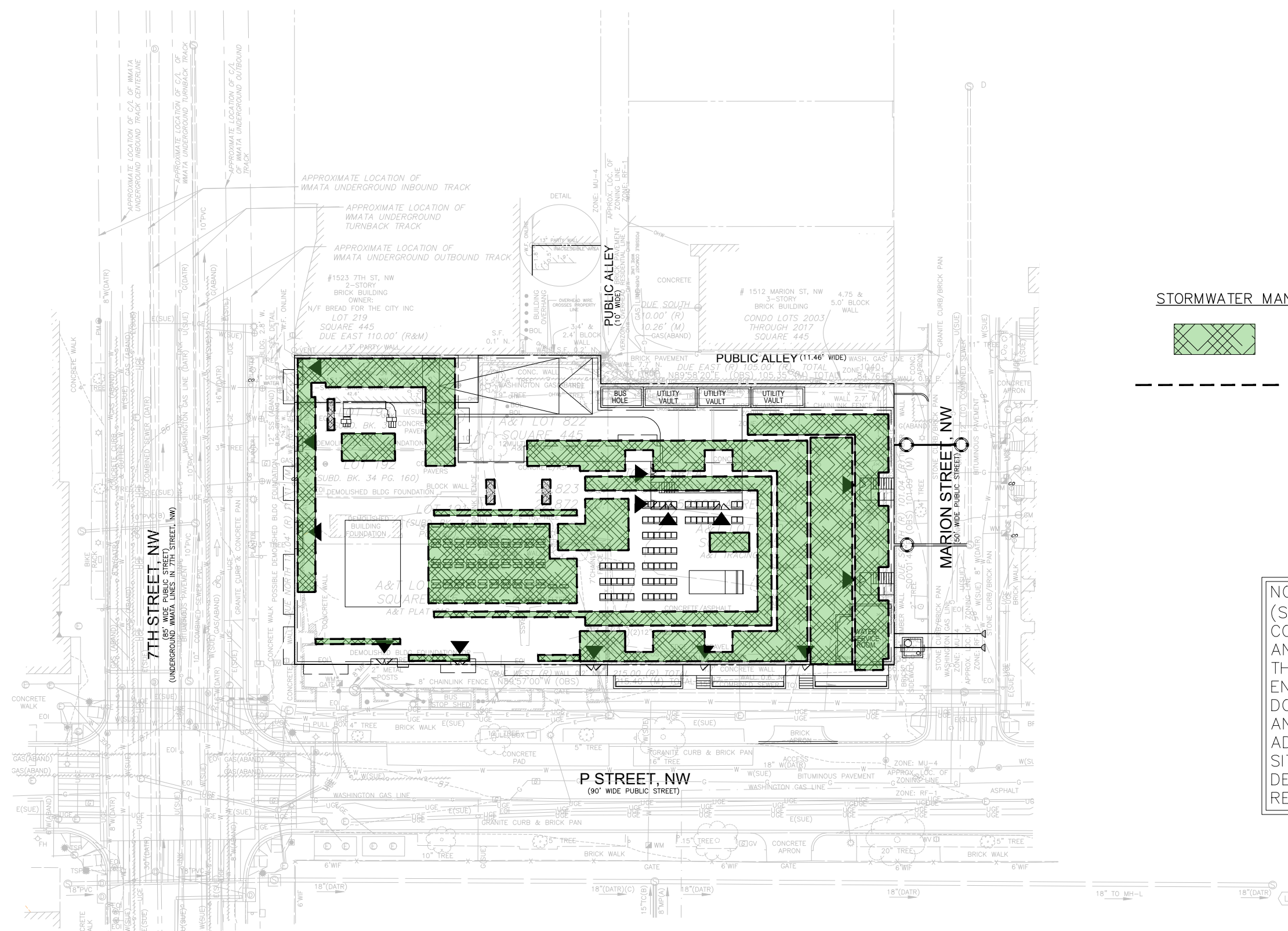
"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO or 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"



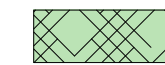

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NOT TO SCALE

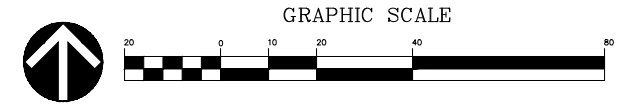


STORMWATER MANAGEMENT LEGEND

-  GREEN ROOF
-  DRAINAGE DIVIDE

NOTE: STORMWATER MANAGEMENT (SWM) FACILITIES AND COMPUTATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE. DURING THE PRODUCTION OF FINAL ENGINEERING CONSTRUCTION DOCUMENTS, THESE FACILITY TYPES AND COMPUTATIONS MAY BE ADJUSTED OR CHANGED BASED ON SITE CONDITIONS. FINAL SWM DESIGN SHALL MEET DOEI REQUIREMENTS.

STORMWATER MANAGEMENT PLAN

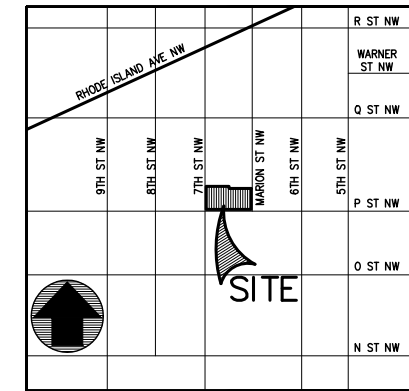
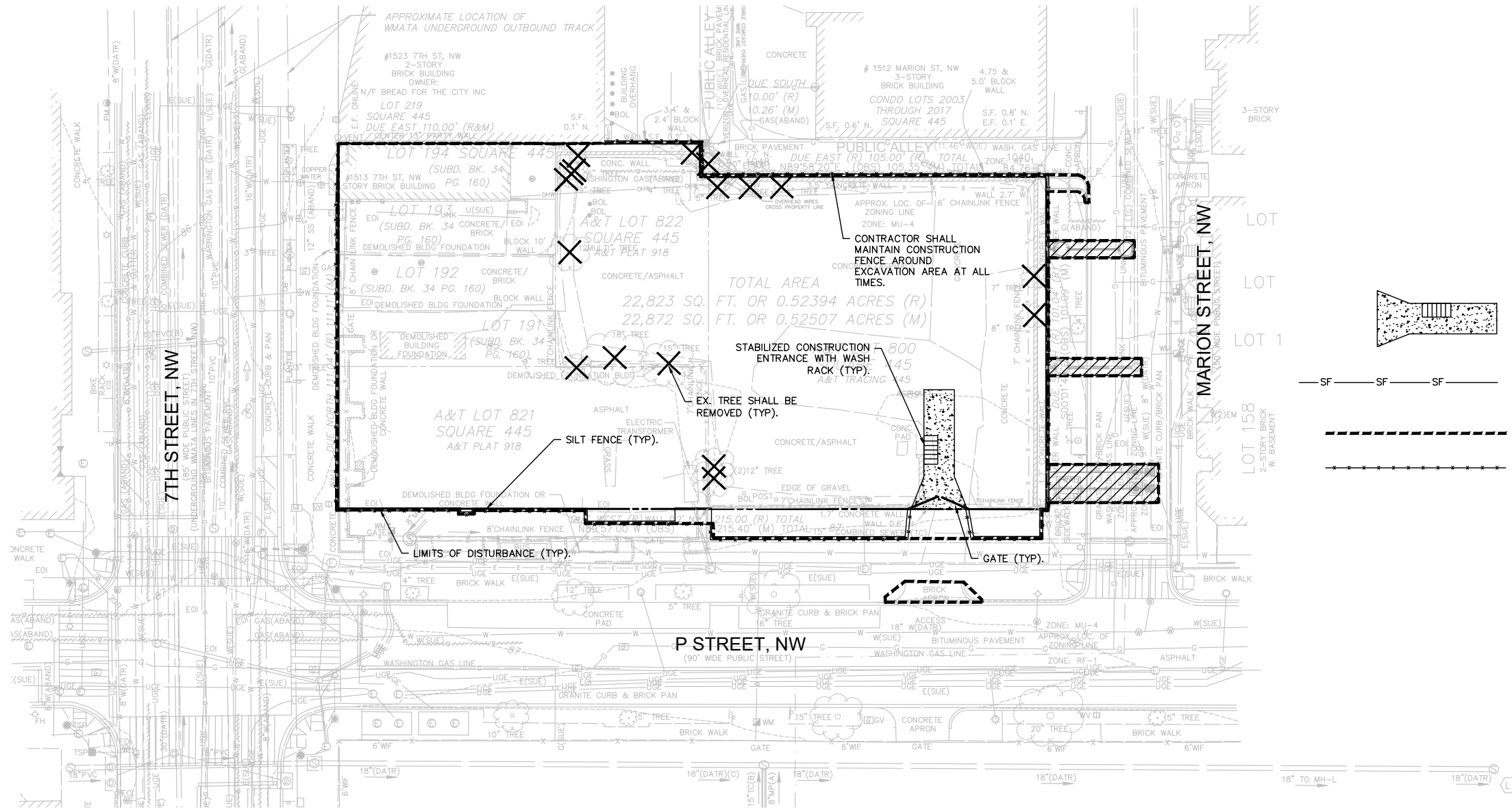


LAYOUT: C04 SWM PLAN, Plotted By: bell

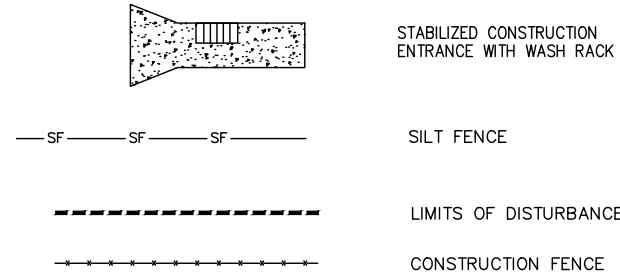
STORMWATER MANAGEMENT PLAN

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NOT TO SCALE

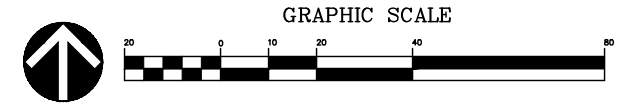
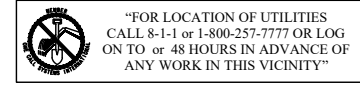


**LEGEND**

<ul style="list-style-type: none"> <li>--- SUBJECT PROPERTY LINE</li> <li>--- ADJACENT PROPERTY LINE</li> <li>--- BUILDING RESTRICTION LINE</li> <li>--- ELECTRICAL CONDUIT</li> <li>--- NATURAL GAS CONDUIT</li> <li>--- OVERHEAD WIRES</li> <li>--- TELEPHONE/COMMUNICATIONS CONDUIT</li> <li>--- WATER LINE</li> <li>--- CABLE TV</li> <li>--- SANITARY SEWER CONDUIT</li> <li>--- STORM DRAIN CONDUIT</li> <li>--- FENCE LINE</li> <li>--- APPROXIMATE ZONING LINE</li> <li>--- BUILDING LINE</li> <li>--- RETAINING OR FREE STANDING WALL</li> <li>--- MAJOR CONTOUR</li> <li>--- MINOR CONTOUR</li> <li>--- APPROXIMATE ZONING LINE</li> <li>--- FLOOD LINE</li> <li>--- APPROXIMATE WMATA UNDERGROUND TRACK CENTERLINE</li> <li>--- APPROXIMATE WMATA UNDERGROUND TRACKS</li> </ul>	<ul style="list-style-type: none"> <li>● BOLLARD</li> <li>○ SIGN POST</li> <li>□ MAIL BOX</li> <li>○ TREE</li> <li>○ SANITARY MANHOLE</li> <li>○ STORM DRAIN MANHOLE</li> <li>○ GRATE</li> <li>○ WATER MANHOLE</li> <li>○ FIRE HYDRANT</li> <li>○ SIAMSE CONNECTION</li> <li>○ WATER METER</li> <li>○ WATER VALVE</li> <li>○ TRAFFIC CONTROL BOX</li> <li>○ WALL LIGHT</li> <li>○ IRRIGATION CONTROL VALVE</li> <li>○ CLEAN OUT</li> <li>○ ROOF LEADER</li> <li>○ WHEEL STOP</li> </ul>	<ul style="list-style-type: none"> <li>○ ELECTRIC MANHOLE</li> <li>○ ELECTRIC VALVE</li> <li>○ ELECTRIC METER</li> <li>○ UTILITY POLE</li> <li>○ GUY WIRE</li> <li>○ UTILITY POLE W/STREET LIGHT</li> <li>○ COBRA LIGHT POLE</li> <li>○ LIGHT POLE</li> <li>○ UTILITY POLE W/ALLEY LIGHT</li> <li>○ PHONE MANHOLE</li> <li>○ UNKNOWN UTILITY MANHOLE</li> <li>○ GAS VALVE</li> <li>○ GAS METER</li> <li>○ CARD READER</li> </ul>	<ul style="list-style-type: none"> <li>(N.)..... NORTH</li> <li>(S.)..... SOUTH</li> <li>(E.)..... EAST</li> <li>(W.)..... WEST</li> <li>N.F. ... NORTH FACE</li> <li>S.F. ... SOUTH FACE</li> <li>E.F. ... EAST FACE</li> <li>W.F. ... WEST FACE</li> <li>SUBD. BK. ... SUBDIVISION BOOK</li> <li>PG. .... PAGE</li> <li>A&amp;T. .... ASSESSMENT &amp; TAXATION</li> <li>BRL. .... BUILDING RESTRICTION LINE</li> <li>SQ.FT. .... SQUARE FEET</li> <li>AC. .... ACRES</li> <li>(R) ..... RECORD INFORMATION</li> <li>(M) ..... MEASURED INFORMATION</li> <li>(O) ..... OBSERVED ANGLE OR BEARING</li> <li>(C) ..... COMPUTED INFORMATION</li> <li>DATR..... DATA ACCORDING TO RECORD</li> <li>EOI..... END OF INFORMATION</li> </ul>	<ul style="list-style-type: none"> <li>INV. ....INVERT</li> <li>RCP .....REINFORCED CONCRETE PIPE</li> <li>CMP .....CORRUGATED METAL PIPE</li> <li>PVC .....POLY VINYL CHLORIDE</li> <li>SS .....SANITARY SEWER</li> <li>SD .....STORM DRAIN</li> <li>WL .....WATER LINE</li> <li>GL .....GAS LINE</li> <li>CI .....CAST IRON</li> <li>WRPD .....WRAPPED</li> <li>TC .....TOP OF CURB</li> <li>BC .....BOTTOM OF CURB</li> <li>CL .....CENTER LINE</li> <li>BW .....BOTTOM WALL</li> <li>TW .....TOP OF WALL</li> <li>FF .....FINISH FLOOR</li> <li>CONC .....CONCRETE</li> <li>ESMT .....EASEMENT</li> <li>DCSO .....DISTRICT OF COLUMBIA SURVEYOR'S OFFICE</li> <li>DDPW..... DISTRICT OF COLUMBIA DEPARTMENT OF PUBLIC WORKS</li> <li>CRC..... CIRCUMFERENCE</li> </ul>
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**SEDIMENT AND EROSION CONTROL PLAN**

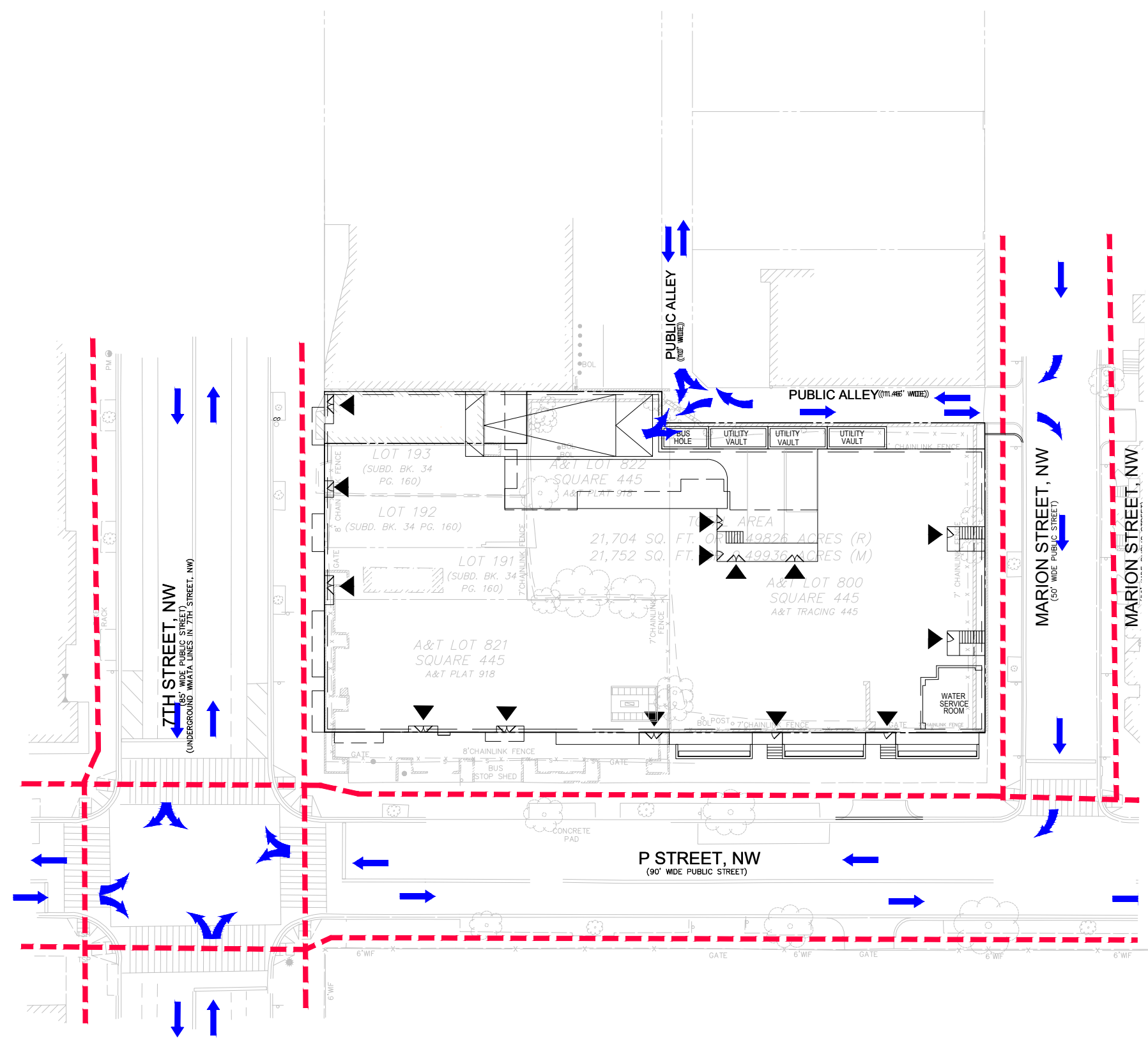
**TP TEST PIT NOTE**  
 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, ELEVATIONS, AND SIZES OF EX. UTILITIES BY DIGGING TESTS PITS BY HAND AT ALL POINTS OF CONNECTION AND AT CROSSINGS. RESULTS FROM THESE TEST PITS SHALL BE SUBMITTED TO THE ARCHITECT FIVE (5) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION AND/OR ORDERING MATERIALS.



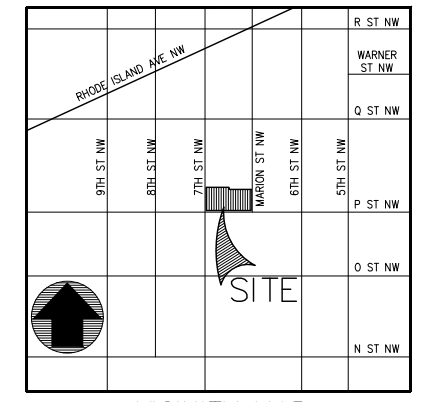
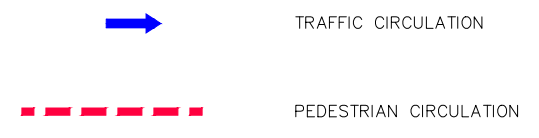
"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO or 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

**SEDIMENT AND EROSION CONTROL PLAN**

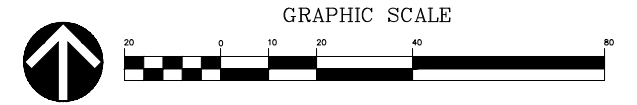
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# CIRCULATION PLAN



VICINITY MAP  
NOT TO SCALE



LAYOUT: C06 CIRC PLAN, Plotted By: bell

## CIRCULATION PLAN

# C05



APRIL 29, 2021

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DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

Washington, D.C., July 22, 2020

Plat for Building Permit of: SQUARE 445 Lots 191 - 194, 800 & 821 - 822

Scale: 1 inch = 20 feet

Recorded in Book 34 Page 160 (Lots 191 - 194)  
Book A & T Tracing Page 445 (Lot 800)  
Book A & T Page 918 (Lots 821 - 822)

Receipt No. 20-06049 Drawn by: A.S.

Furnished to: BRIAN J. RUHL

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

For Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy previous surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application \_\_\_\_\_; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

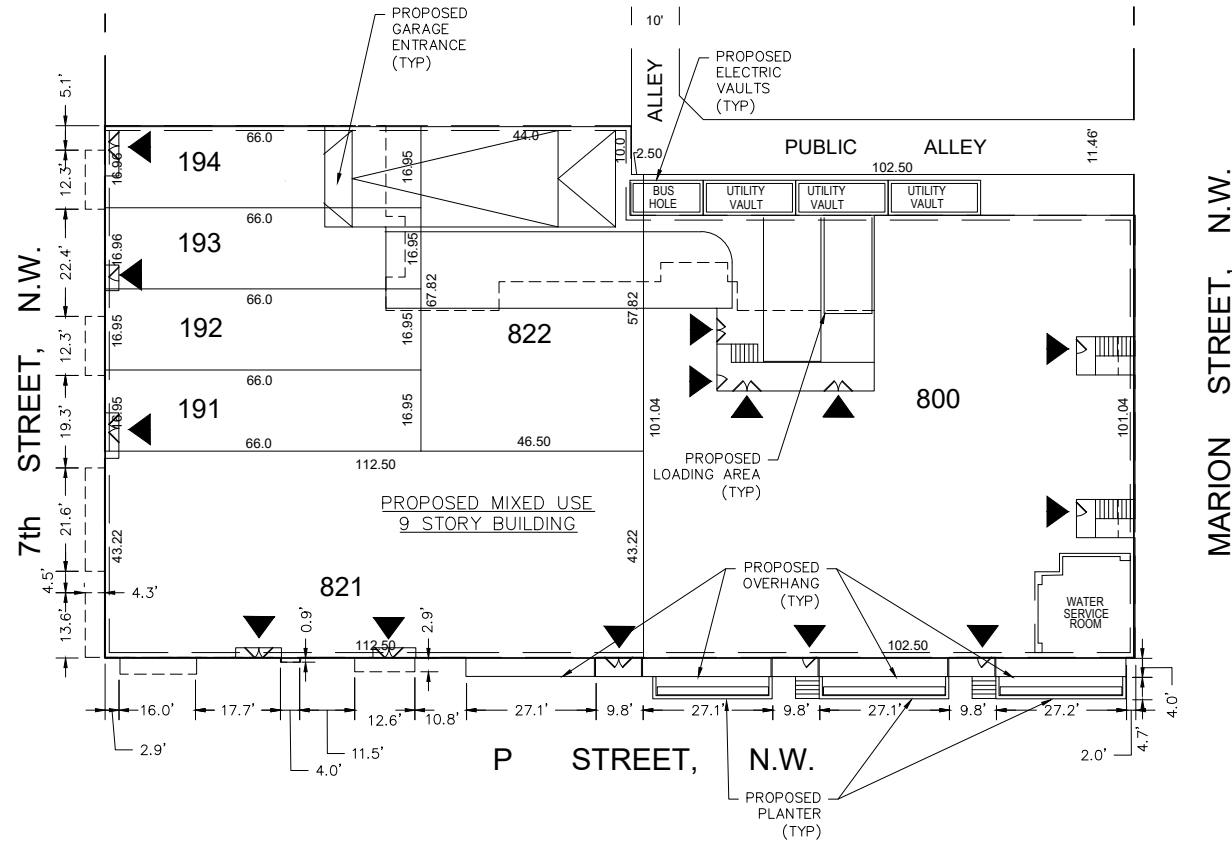
I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
  - 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
  - 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
  - 4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
  - 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
- The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_ Relationship to Lot Owner: \_\_\_\_\_

If a registered design professional, provide license number \_\_\_\_\_ and include stamp below.

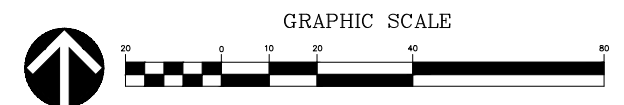


BUILDING PLAT

SR-20-06049(2020)  
\* E-MAIL

LAYOUT: FOR PUD, Plotted By: ruhl

APRIL 29, 2021



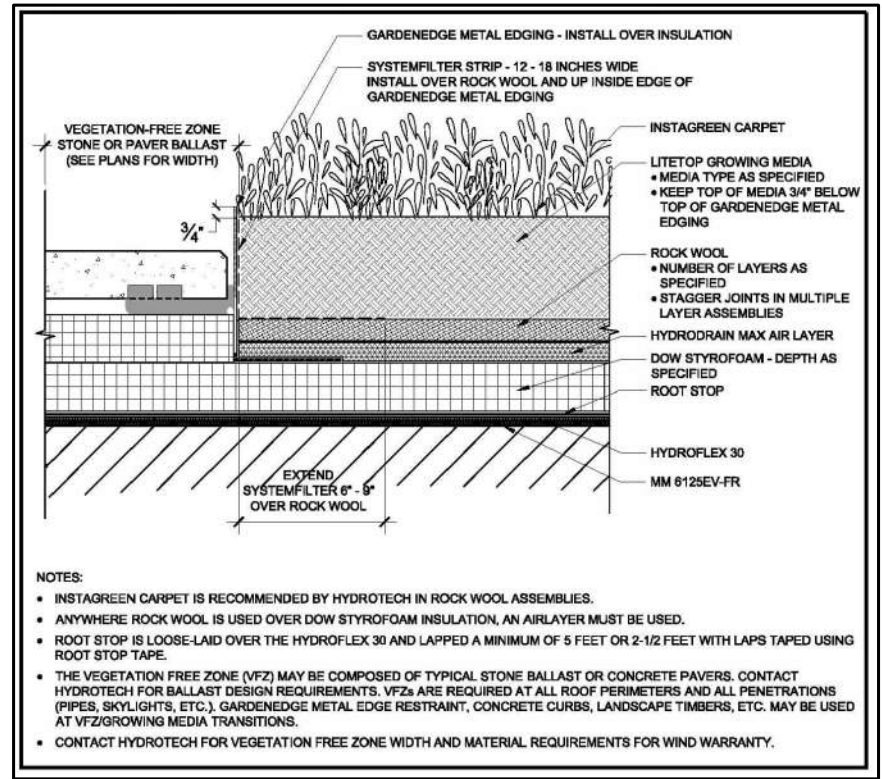
BUILDING PLAT



C06

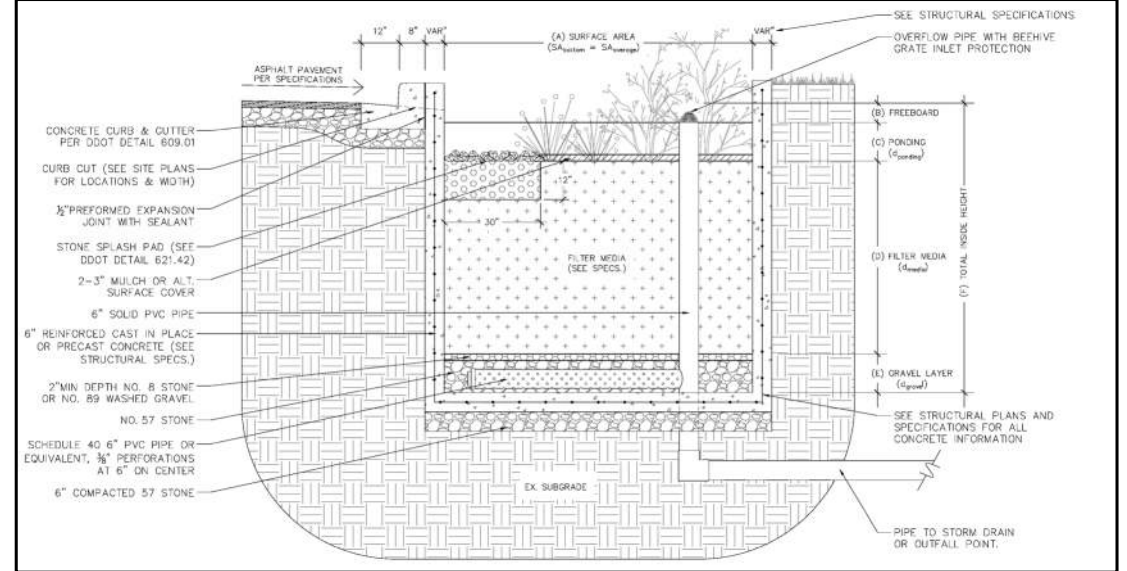
S:\0001-1001\GIS\3C - 7th and P Street NW\cond\Building Plats\SR-20-06049(2020)\BUILDING FOR PUD.dwg - Oct. 21, 2020 AT 4:15:23 PM

SWRv		22,872			CN	Weighted CN	S	Target Rainfall Event		
Total Area = 22,872		SDA 1	SDA 2	SDA 3				2-yr storm	15-yr storm	100-yr storm
Post-project Land Cover		0	0	0	70	98	0.20	3.2	5.2	8.37
Major Substantial Improvement =	0	0	0	0	70					
Natural Cover =	0	0	0	0	74					
Compacted Cover =	0	0	0	0	98					
Impervious Cover =	13,365	13,365	0	0	98					
BMP Cover =	9,507	9,507	0	0	98					
Total Disturbed Area =	22,872	22,872	0	0	98					
SWRv =	1,449 CF 10,835 Gallons							2.97	4.96	8.13
On-site Retention Achieved =	1,311 CF 9,803 Gallons	90.47						0.70	2.69	5.86
SRC Eligibility =	-1,032 Gallons							67	76	79
Storage Volume of BMP's =	4324.1 CF									
Fee In-Lieu =	\$3,716.39									
SRCs for Sale =	\$1,827.22									
SRCs Buyer's Price =	\$1.77									
Site Outfall CSS or MS4	CSS									
Tunnel or GI	Tunnel									
2-Yr Detention	Required									
On-site Retention	Not required									
								PASS		
								PASS		



TYPICAL GREEN ROOF SECTION DETAIL\*

GREEN ROOF STORAGE VOLUME COMPUTATIONS							
$S_v = S_{AGR} \times [(d_m \times \eta_m) + (d_{DL} \times \eta_{DL})]$							
Green Roof No.	S <sub>AGR</sub> (sf) Surface Area of Green Roof	Green Roof Type	d <sub>m</sub> (in) Media Depth	d <sub>DL</sub> (in) Drainage Layer Depth	η <sub>m</sub> Media Volume of Voids	η <sub>DL</sub> Drainage Layer Volume of Voids	Storage Volume S <sub>v</sub> (ft <sup>3</sup> )
SWM GR1	1294	INTENSIVE	8.00	1.00	0.566	0.93	588.6
SWM GR2	1223	INTENSIVE	8.00	1.00	0.566	0.93	556.3
SWM GR3	2277	INTENSIVE	8.00	1.00	0.566	0.93	1035.7
SWM GR4	995	INTENSIVE	8.00	1.00	0.566	0.93	452.6
SWM GR5	97	INTENSIVE	8.00	1.00	0.566	0.93	44.1
SWM GR6	381	INTENSIVE	8.00	1.00	0.566	0.93	173.3
SWM GR7	1415	INTENSIVE	8.00	1.00	0.566	0.93	643.6
SWM GR8	1398	INTENSIVE	8.00	1.00	0.566	0.93	635.9
SWM GR9	103	INTENSIVE	8.00	1.00	0.566	0.93	46.8
SWM GR10	27	INTENSIVE	8.00	1.00	0.566	0.93	12.3
SWM GR11	27	INTENSIVE	8.00	1.00	0.566	0.93	12.3
SWM GR12	187	INTENSIVE	8.00	1.00	0.566	0.93	85.1
SWM GR13	27	INTENSIVE	8.00	1.00	0.566	0.93	12.3
SWM GR14	56	INTENSIVE	8.00	1.00	0.566	0.93	25.5
TOTAL	9507						4324.1



TYPICAL BIO-RETENTION SECTION DETAIL\*

**\*NOTE: DETAILS ARE SCHEMATIC AND SUBJECT TO CHANGE BASED ON FINAL ENGINEERING CALCULATIONS**

STORMWATER MANAGEMENT CALCULATIONS

STORMWATER MANAGEMENT DETAILS

LAYOUT: C09 SWM DETAILS, Plotted By: bell

STORMWATER MANAGEMENT DETAILS

APRIL 29, 2021

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